

Contents

1 Buildings at Risk	4
2 Introduction	5
3 Farmhouse & Barns at Naas Court, Lydney	6
4 Former Pumphouse, Lightmoor Works, Ruspidge	17
5 Gunns Mill Blast Furnace, Mitcheldean	21
6 Barn, Cider Mill and Pigsty (Kilcot Inn), Kilcot	26
7 Former Blowing House, Furnace Lane, Oxenhall	30
8 Former Charcoal Store, Furnace Lane, Oxenhall	37
9 Gaulet Farm, Blaisdon	42
10 Granary and Barn at Grove Farm, Westbury-on-Severn	44
11 Railway Viaduct at Purton, Awre	48
12 Tithe Barn at Highleadon Court, Rudford	52
13 Spout Farm Cottages (North and Middle), Newland	57
14 Ty Anon Farm (formally Barn at Elliott's Farm), Taynton	62
15 Former United Reform Church, Cinderford Road, Blakeney	68
16 Former Lydney Baptist Chapel, Lydney	75
17 The Footbridge at St Mary's Halt, Lydney	79
18 Whitecliff Furnace, Coleford	82
19 Yewtree Cottage, Flaxley, Westbury-on-Severn	86
20 St John's Church, Coleford	91
21 Mortuary Building at Clearwell Church, Clearwell	96

Contents

22 Sedbury Park House, Sedbury	98
23 Lydney Docks and Swing Bridge over Naas Harbour, Lydney	105
24 Crump Farm, Lydney	109
25 The Victoria Hotel, Newnham	115
26 Yorkley Court Farm, Yorkley	121
27 All Saviours Church, Redbrook	123
28 The Wesley (formally Cinderford Methodist Church), Belle Vue, Cinderford	127
29 10-14 Newland Street, Coleford	131
30 Buildings to be retained on the list	135
31 Success Stories	136
32 Next Review	137

1 . Buildings at Risk

1 Buildings at Risk

The following appraisal summarises the current condition of the listed Buildings at Risk (BaR) as listed below. The inspection of the buildings was carried out during 2021 and 2022 and has been generally limited to an external appraisal of the buildings. Where internal access to the sites has been granted, this is clarified within the individual appraisals.

Buildings at Risk:

1. Farmhouse & Barns at Naas Court, Lydney GL15 4ES
2. Former Pumphouse, Lightmoor Works, Ruspidge GL14 3HU
3. Gunns Mill Blast Furnace, Mitcheldean GL17 0EA
4. Barn, Cider Mill and Pigsty (Kilcot Inn), Kilcot GL18 1NG
5. Former Blowing House, Furnace Lane, Oxenhall GL18 1DD
6. Former Charcoal Store, Furnace Lane, Oxenhall GL18 1DD
7. Gault Farm, Blaisdon GL17 0AD
8. Granary and Barn at Grove Farm, Westbury-on-Severn GL14 1JW
9. Railway Viaduct at Purton, Awre GL15 4AX
10. Tithe Barn at Highleadon Court, Rudford GL18 1HJ
11. Spout Farm Cottage (North and Middle), Newland GL16 8NP
12. Ty Anon Farm (formally Barn at Elliott's Farm), Taynton GL19 3HH
13. Former United Reform Church, Cinderford Road, Blakeney GL15 4AZ
14. Former Lydney Baptist Chapel, Lydney
15. The Footbridge at St Mary's Halt, Lydney
16. Whitecliff Furnace, Coleford
17. Yewtree Cottage, Flaxley, Westbury-on-Severn GL14 1JR
18. St John's Church, Coleford
19. Mortuary building at Clearwell Church
20. Sedbury Park House, Sedbury
21. Lydney Docks and Swing Bridge over Naas Harbour, Lydney
22. Crump Farm, Lydney
23. The Victoria Hotel, Newnham
24. Yorkley Court Farm, Yorkley
25. All Saviours Church, Redbrook
26. The Wesley (formally Cinderford Methodist Church, Belle Vue, Cinderford (Excluding Church Hall and Sunday School Building)
27. 10-14 Newland Street, Coleford

2 . Introduction

2 Introduction

A Building at Risk (BaR) is classified as a listed building whose condition could result in the loss of the building. The loss of such a building is detriment to the local area and on a national scale.

Listed buildings are those recognised as having special architectural or historical merit, or being the best examples of their type. Every effort should be made to safeguard these buildings, hence the product of this document.

The poor condition of a building could be due to a number of factors; neglect being the most common cause. However, the reasons for a building's neglect could be many and varied:

- Lack of general maintenance, may have resulted in problems occurring which the owner cannot afford to rectify and the condition worsens over time.
- The very nature of a building/structure may make it difficult to find a new use for, and its long-term future could be difficult to envisage.
- The building's use may be redundant owing to changes in industry is also a common cause of neglect.

The Buildings at Risk Register is designed to highlight those important buildings whose condition is of concern and then to follow up by discussions with the owner to try and bring about the buildings repair. The inclusion on the register is not intended to single out the owners of a building in a poor condition. Often, owners are keen to see the building repaired but circumstances have prevented them from doing so or a scheme has been developed but not yet implemented.

The Forest of Dean District Council's register, includes all grades of listed buildings (Grade II, Grade II* and Grade I) and Scheduled Ancient Monuments. English Heritage manages a national list which only includes those buildings which are Grade II* and Grade I, and is derived from the local lists produced by the Local Planning Authority. The English Heritage list should therefore be considered alongside this local Buildings at Risk Register in order to gain a full understanding of the situation in the District (as there may be some differences in which buildings are included in each document).

Survey Method

The first Buildings at Risk Register was produced in 2000 following a condition survey of the listed buildings in the district based on English Heritage criteria. Subsequent editions have been updated as repairs and alterations to buildings are monitored and completed, with the last register being published in 2019.

A fully qualified surveyor has visited each of the buildings and has carried out a full survey where possible.

3 . Farmhouse & Barns at Naas Court, Lydney

3 Farmhouse & Barns at Naas Court, Lydney

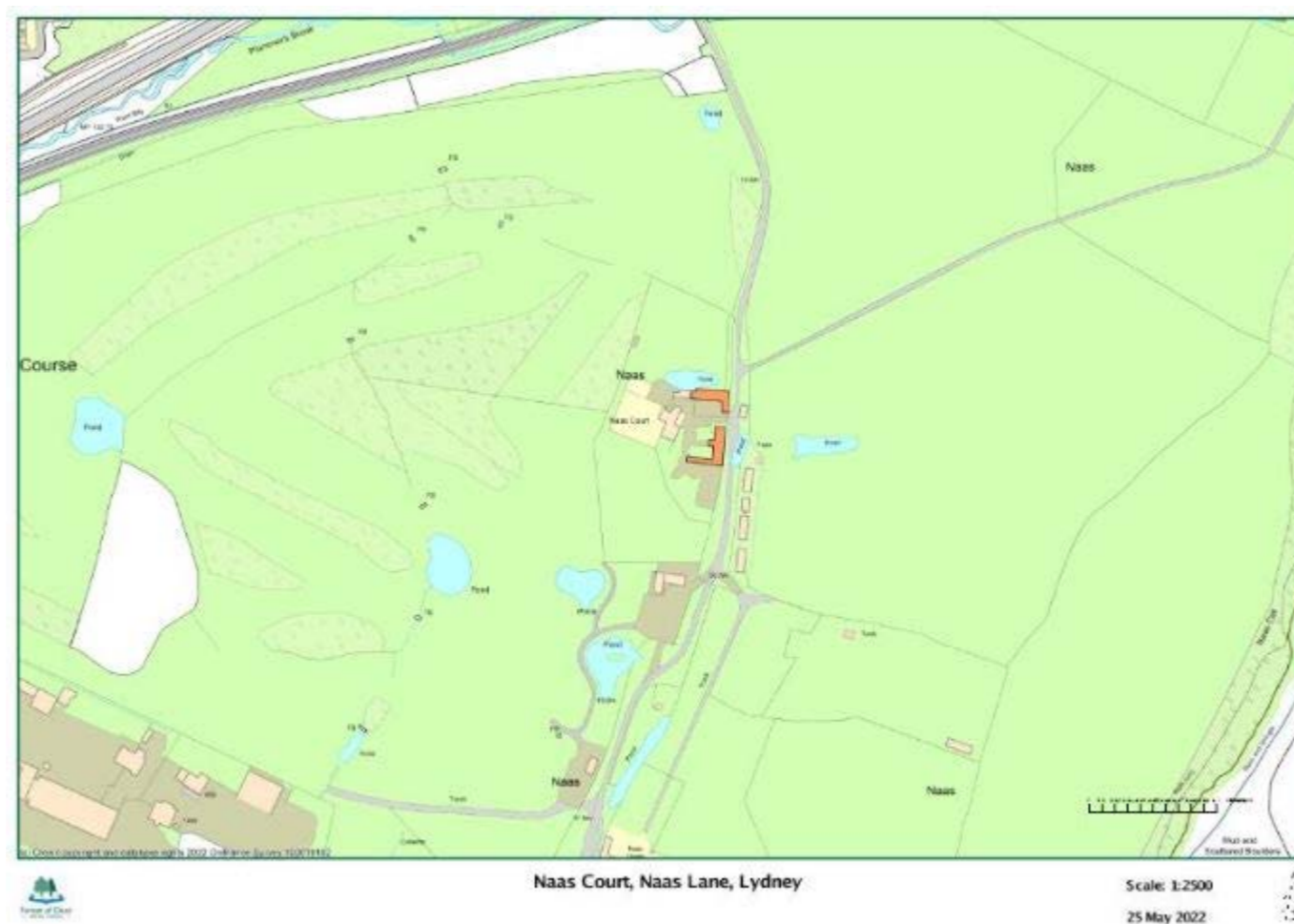
Designated: Grade II

List Entry Numbers: 1186614

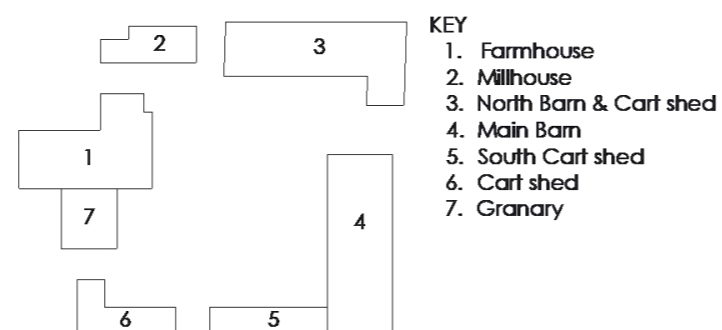
Parish: Lydney

Owner: Private Ownership

Location Map:



3 . Farmhouse & Barns at Naas Court, Lydney



Description:

Manor House/Farmhouse (no.1): LYDNEY NAAS LANE SO 60 SW (west side) 7/112 Naas Court GV II Manor house, now farmhouse. C16 with substantial C19 and C20 modification. Sandstone rubble, double roman tile plain gabled roof, two gable stacks. An L-plan, plus gabled attached wing to left; the wing in two storeys, probably granary or dairy, derelict, simple chamfered beams, heavily overgrown (September 1983). Main block 2-storeys, 3-windowed, various C19 and C20 sashes, and pair of glazed C20 doors, but first floor centre is 3-light stone casement to Tudor form in Tudor Rose stops, moulded mullions and 4-centre heads to lights under square label. Nothing significant remains within.

Barn to the North East (no.3): LYDNEY NAAS LANE SO 60 SW (west side) 7/113 Barn and outbuildings c15 metres north-east of Naas Court GV II Barn and cart-shed. C18 or C19. Sandstone rubble, double Roman tile gable roof. 7 bay barn with 3 open bays to south, with tapered round rubble columns carrying wood lintol, then 2 small square openings and door opening, all with wood lintols. Return wing, adjoining Naas Lane, lower roof, 3 open bays towards the house (qv) with tapered round rubble columns, no gable wall. This L-shaped building forms a good courtyard group with Naas Court (qv) and a barn immediately to the south (qv).

Barn to the East (no.4): LYDNEY NAAS LANE SO 60 SW (west side) 7/114 Barn c25 metres east of Naas Court GV II Barn. Possibly C16, much altered. Sandstone rubble, segmental corrugated iron roof. Long wall parallel with Naas Lane is in eight bays with wide double- offset buttresses, but clamp buttress at left-hand end, ventilation slits to each bay, and full-height steel doors to bay 5. Gable end, right, unbuttressed, 2 ventilation slots, has plain string at line of chord of curved roof. On the west side the remains of a projecting carriage opening, and some buttressing. Although much overgrown (September 1983) and having lost its original roof, this a substantial remnant of what must have been a fine barn.

Occupancy: The main farmhouse is occupied and the outbuildings range from a state of disrepair to being renovated and having a use. See the Condition Appraisal below for more details.

Historic Photos:

3 . Farmhouse & Barns at Naas Court, Lydney



Farmhouse 2009



Main barn dilapidated 2009



House and granary 2017



Inside Main Barn repairs 2017

3 . Farmhouse & Barns at Naas Court, Lydney



Farmhouse and granary 2017



Main barn slow repair 2017



North Barn and Cart Shed 2017 Roof



North Barn and Cart Shed 2017

3 . Farmhouse & Barns at Naas Court, Lydney



Outside North Barn and Cart Shed 2017

Photos taken in 2021 survey:



Fig. 1 Farmhouse - Front Elevation



Fig.2 Farmhouse - Side and Rear Elevation

3 . Farmhouse & Barns at Naas Court, Lydney



Fig. 3 Millhouse - Front and Side Elevation



Fig. 4 Millhouse - Rear Elevation



Fig. 5 Millhouse - Internal View of Roof Structure



Fig. 6 North Barn and Cart Shed - Front Elevation

3 . Farmhouse & Barns at Naas Court, Lydney



Fig.7 North Barn and Cart Shed - Front and Side Elevation



Fig. 8 North Barn and Cart Shed - Side and Rear Elevation



Fig. 9 North Barn and Cart Shed - Internal View



Fig. 10 North Barn and Cart Shed - Internal View

3 . Farmhouse & Barns at Naas Court, Lydney



Fig. 11 Main Barn - Front Elevation



Fig. 12 Main Barn - Side Elevation



Fig. 13 Main Barn - Side and Rear Elevation



Fig. 14 South Cart Shed - Front Elevation

3 . Farmhouse & Barns at Naas Court, Lydney



Fig. 15 South Cart Shed - Rear Elevation



Fig. 16 Cart Shed - Front Elevation (Left-hand Building)



Fig. 17 Cart Shed - Side and Rear Elevation



Fig. 18 Cart Shed - Side Elevation

3 . Farmhouse & Barns at Naas Court, Lydney



Fig. 19 Granary - Front and Side Elevation



Fig. 20 Granary - Side and Rear Elevation



Fig. 21 Granary - Internal View

Condition Appraisal: The current owner purchased the site in 2016. The buildings were inspected on 29 October and 2 November 2021. The owner was on site during the inspection and gave permission for photographs to be taken for the BaR register.

The key to the site layout can be seen above.

Farmhouse - The current owner has carried out extensive repair and restoration works internally and externally and added a side extension. The works have been carried out in a sensitive manner with planning and listed building consent. The building works were inspected by building control, a completion certificate was issued in 2016 and is now occupied as the owners dwelling (Figures 1 and 2). The Farmhouse is no longer at risk.

3 . Farmhouse & Barns at Naas Court, Lydney

Mill house – The current owner has carried out essential repairs to the house to make it weatherproof (replace defective roof tiles and board up openings) and is using it as a store. Other than essential repairs the main building has not been maintained for decades and is in a deteriorated condition, particularly the attached side single storey building which has established vegetation growing through the building, the defective and missing roof coverings is allowing water ingress into the structure and external walls are becoming unstable. The house and side building urgently requires extensive repair and restoration works to prevent further deterioration and loss of the historic fabric (Figures 3, 4 and 5). The owner hopes carry out essential repairs to the single storey building to make it water proof within the next 12 months to the to convert the building into residential use within the next five years.

North Barn and Cart Shed - The current owner has carried out essential temporary repairs to the North Barn roof structure which had partially collapsed. Clay roof tiles has been taken off and stored on site for re-use. The roof structure has been temporarily supported and repaired with modern softwood rafters and corrugated steel roofing sheets were fixed the whole roof over to make it weatherproof. Essential repairs have been carried out to repoint and consolidate stonework. The barn is currently being used as a store and workshop for the site. The barn requires urgently requires extensive repair and restoration works to prevent further deterioration and loss of the historic fabric (Figures 6, 7, 8, 9 and 10).

The cart shed roof had already partially collapsed when the owner bought the property, the remaining roof structure (trusses) has been taken down, protected and stored for re-use. Stone walls have partially collapsed and are in need of extensive repair and rebuilding works.

The owner hopes to convert the barn and cart shed building into residential use within the next ten years.

Main (large) Barn The current owner has carried out extensive repair and restoration works internally and externally. The works have been carried out in a sensitive manner with planning and listed building consent. The building works were inspected by building control and a completion certificate was issued in 2019 and is now used as a commercial wedding venue (Figures 11, 12 and 13)

South Cart Shed -The current owner has carried out extensive repair and restoration works internally and externally. The works were completed in 2019 and appear to have been carried out in a sensitive manner with planning and listed building consent and is now used as part of a commercial wedding venue (Figures 14 and 15).

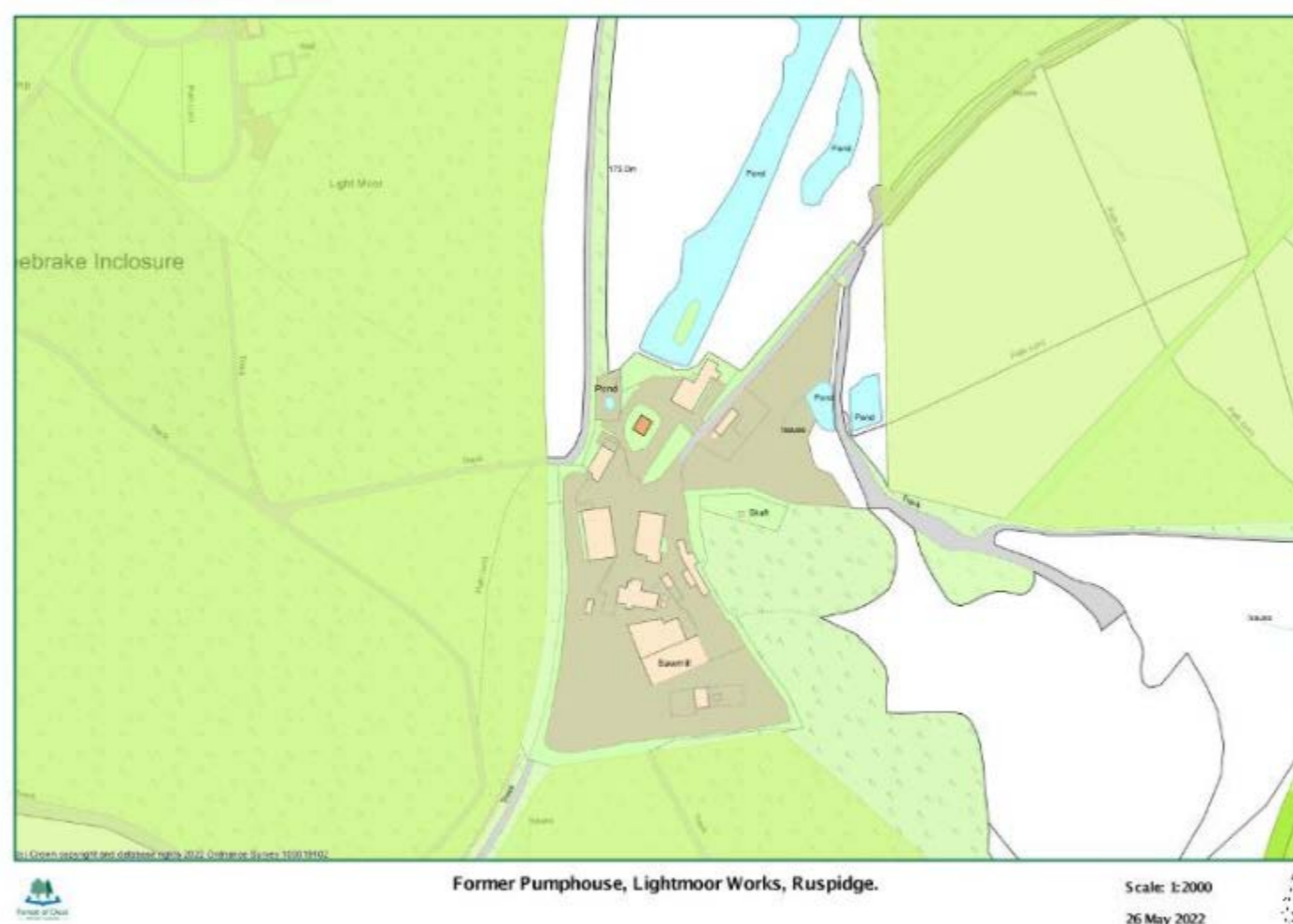
Cart Shed -The current owner has carried out extensive repair and restoration works internally and externally. The works were completed in 2019 (except for small gable end) and appear to have been carried out in a sensitive manner with planning and listed building consent and is now used as part of a commercial wedding venue (Figures 16, 17 and 18).

Granary – This building was in a state of sever disrepair and deterioration when the owner bought the property, the roof had collapsed into the building and external walls were unstable and had partially collapsed. The owner has erecting scaffold and is carrying out urgent repair and restoration works in a sensitive manner as agreed with the conservation officer. The external walls are being stabilised in accordance with details from a conservation experienced structural engineer approved by the conservation officer (Figures 19, 20 and 21). The owner has commenced fixing new oak roof trusses and intends to apply for planning permission to convert the building into residential accommodation as part of the established commercial wedding venue. He hopes to complete the works within the next two years.

Recommendations/Actions: The owner has a 10-year business plan to repurpose the site into a mixture of residential and commercial uses which should allow all the buildings at risk to be repaired and renovated. The buildings should be retained on the buildings at risk register and their condition monitored.

Remain on Buildings at Risk Register? YES (not including the farmhouse).

4 . Former Pumphouse, Lightmoor Works, Ruspidge

4 Former Pumphouse, Lightmoor Works, Ruspidge**Designated:** Grade II**List entry Number:** 1299226**Parish:** Ruspidge and Soudley**Occupancy:** Private Ownership**Location Map:**

Description: Former pump and engine house for Lightmoor Colliery, now empty. c1840. Coursed and finely dressed rubblestone with tooled and punched long and short quoin blocks. Hipped roof originally of slate but timbers only remaining at time of survey (10/7/84). 3- storeyed rectangular block with overhanging wooden eaves supported on row of paired brackets. Roof trusses more or less intact with King posts. East and west sides have 2 window openings on each floor, windows missing. On south side, large arched opening with stone voussoirs at the top of the wall, flanked by small square opening at base. Lightmoor Colliery was sunk in c1840 and in the mid-19th century it had an impressive range of steam power. This engine house contained one of the larger beam engines while there were also 2 frame beam engines and several horizontal steam engines. They were dismantled in c1934 and the building was then used as a store. It is now becoming derelict at time of survey (July 1984). One beam engine from the Colliery is now on show at the Dean Heritage Museum, on loan from the National Museum of Wales, but this engine did not actually function in the Pump House.

4 . Former Pumphouse, Lightmoor Works, Ruspidge

Occupancy: The pump house is derelict and in is the ownership of Forest Products who own the site producing timber product. At the time of the inspection the owner confirmed that plans had been drawn up to convert the pump house into a dwelling a few years ago- but the owner claims the Councils planning department was less than helpful and he withdrew the proposals.

Historic Photos:

2011 the Pumphouse has the remains of its roof.



2017 the Pumphouse is only a shell, all the floors are gone, roof structure and the masonry is very loose in various areas. This building is at high risk of collapse.



4 . Former Pumphouse, Lightmoor Works, Ruspidge



Background:

2006 – In 2006 the building was in risk category 1 and 2 and was in poor condition and at extreme risk of further deterioration. Since then, it is apparent that there has been no maintenance and the roof has totally collapsed into the building.

2017 -Stone work at roof level has deteriorated, appears loose and loss of the historic fabric has occurred. The loose stone work is a potential danger to anyone in or around the building and the top of the wall requires capping urgently in matching lime mortar to stabilise the stone work and prevent further loss of the building fabric

There are no floors in the building and two large galvanised roof tanks at second floor level are both unsupported and liable to collapse and are a potential danger. Although some openings have been blocked and boarded up at ground floor level, the building is still accessible and requires all openings at ground floor level to be secured to prevent access into the building and danger keep out sign erected. The owner agreed to erect Heras fencing to prevent access at time of inspection.

Photos taken in Survey 2021:



Fig. 1 Front elevation



Fig.2 Side elevation - original lean too was up to underside of first floor stone sills

4 . Former Pumphouse, Lightmoor Works, Ruspidge



Fig. 3 Rear elevation in foreground



Fig. 4 Side elevation



Fig. 5 Internal view with water tanks visible at high level - access was restricted

Condition Appraisal:

2021- A visual inspection of was carried out on 10th December 2021 and photographs were taken as seen in figures 1 to 5 below with the owner's permission.

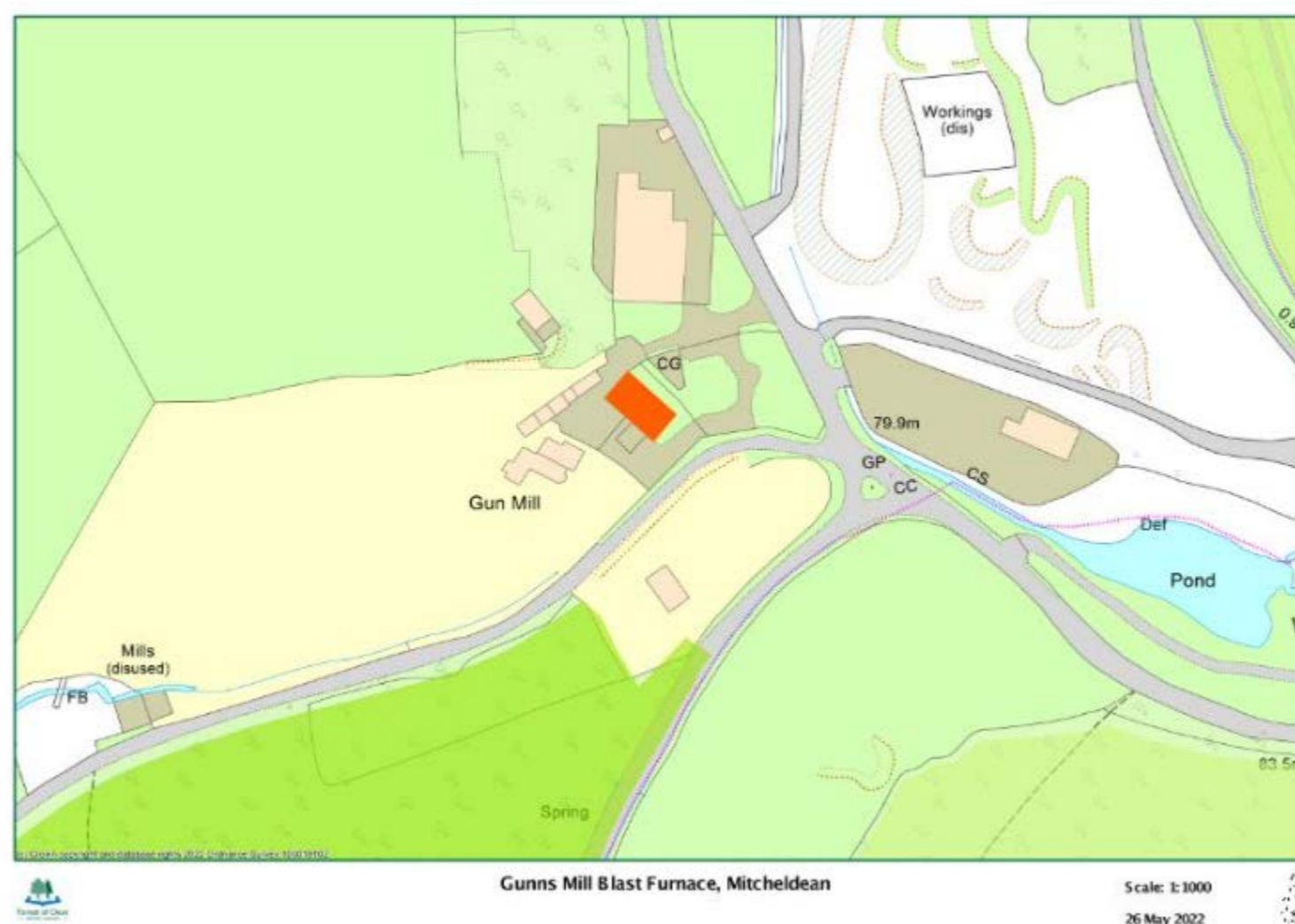
The building has not been maintained since the last inspection in 2017. The building is in very poor condition as a result of disuse and neglect. Without urgent intervention, the building fabric will continue to decay causing deterioration and loss of the remaining historic fabric.

Recommendations/Actions: The following should be carried out with immediate effect:

1. Council Conservation officer should be made aware of the deteriorated condition of the building and necessary urgent actions taken to prevent further loss of the historic fabric.
2. A plan of action should be agreed with the owner to repair and conserve the building.

Remain on Buildings at Risk Register? YES

5 . Gunns Mill Blast Furnace, Mitcheldean

5 Gunns Mill Blast Furnace, Mitcheldean**Designated:** Grade II* and Scheduled Ancient Monument**List entry Number:** 1186479**Parish:** Littledean**Owner:** Forest of Dean Buildings Preservation Trust (FoDBPT)**Location Map:**

Description: Internationally important former blast furnace and later paper mill dating from 1682/3, with large section oak roof trusses/purlins/rafters with slate roof - now stripped and stored on site for re-use (which was probably stone tiled originally), upper walls constructed of large section oak timber frame with wattle and daub infill wall and stone built lower walls (random rubble in lime mortar).

Occupancy: Derelict building

Historic Photos:

5 . Gunns Mill Blast Furnace, Mitcheldean



Pre 1960



1986



2009



2012

5 . Gunns Mill Blast Furnace, Mitcheldean



2012



2013



2015

Photos taken in 2021:

5 . Gunns Mill Blast Furnace, Mitcheldean



Fig. 1 Consolidation of the north wall



Fig.2 Croft work



Fig. 3 Ladder access to wheel pit floor

Condition Appraisal:

2006- the building was reported in the buildings at risk register as risk category 1 which is an immediate priority risk. In 2009, the building was surrounded by scaffolding, stabilised and completely weatherproofed in plastic sheeting to stop further deterioration.

2012- The FoDBPT has acquired ownership of the building and has concentrated on stopping further deterioration, employed a project manager and structural engineer and has constructed a retaining wall to secure the site boundary. An interpretation board has been put up on the site to provide information on the building.

2022- In June 2022, the FoDBPT confirmed the following:

5 . Gunns Mill Blast Furnace, Mitcheldean

- Gunns Mill is still considered 'at risk' at high priority.
- It is progressing in partnership and with grant assistance from Historic England.
- The structure is fully recorded and conservation works to stabilise elements of the wheel pit have been completed.
- Stabilisation conservation works to the north wall have recently been completed with a grant of £100k from Historic England (Figure 2).
- A feasibility has been drafted to enable the next phase of structural repairs to the earlier part of the Bridge House to stabilise the distortion and loading on this part of the building. FoDBPT are applying for grant funding to work these concepts into construction drawings using an Architect and Structural Engineer in consultation with Historic England.

Recommendations/Actions: This building should remain on the buildings at risk register and the condition of the building should be monitored.

Remain on Buildings at Risk Register? YES

6 . Barn, Cider Mill and Pigsty (Kilcot Inn), Kilcot

6 Barn, Cider Mill and Pigsty (Kilcot Inn), Kilcot**Designated:** Grade II**List entry Number:** 1152096**Parish:** Gorsley and Kilcot**Owner:** Private Ownership**Location Map:**

Description: Barn, cider mill and pigsty. C17, C18, early C19. Timber-framed on stone plinth, brick nogged, butt-jointed boarding: squared, thin coursed stone; weatherboarded gable to road; corrugated-iron roof. 3-bay barn, threshing floor at end, adjoining cider mill. To yard, 3-panel high timber-framing on left, upper rail continuous each bay, lower interrupted by studs. Double boarded door with single panel timber-framing over. To right front breaks forward, boarded door with shutter over in return. Front wall stone, to cider mill; lean-to pigsty added, with yard in front. Left return rebuilt in stone. 2 rows slit air vents, weatherboarding over. Interior: queen-strut trusses to barn, stone wall between barn and cider mill: low door to back. Cobbled floor to mill, lower part walls stone: original framed wall continuous across front one panel high in roof, wall below removed. Mill and press survive. Space over narrow extension to front may have been henhouse, reached by shuttered opening over door. Forms group with inn, (q.v.), bounding one side of forecourt. Lean-to to forecourt side of barn, to left of threshing floor, not of special interest

6 . Barn, Cider Mill and Pigsty (Kilcot Inn), Kilcot

Occupancy: The barn was derelict and unoccupied at time of inspection.

Historic Photos:



In previous surveys, the building was in danger of collapse, water penetration, external timbers rotten and damaged brickwork.

Photos taken in Survey 2021:



Fig.1 Front elevation - in poor condition



Fig. 2 Front and side elevation - in poor condition

6 . Barn, Cider Mill and Pigsty (Kilcot Inn), Kilcot



Fig. 3 Front and side elevation - in poor condition



Fig. 4 Rear and side elevation - in poor condition

Background:

2006 - The barn was in risk category 3 and was in fair condition. There was a lack of maintenance and the external gable end wall on the side elevation (closest to the pub) had partially collapsed away at plinth level, bowing outward with a large vertical crack up to the timber cladding level. Urgent works were required to stabilise the building and make it weather proof.

2017- Forward Planning Officer agreed that the owner could erect temporary shoring and carry out essential repair works to stabilise the building to prevent any potential collapse.

Condition Appraisal:

2022- A site inspection was carried out on 4th November 2022. The barn is in the ownership of the Kilcot Inn and the tenant of the pub was reluctant to permit inspection of the detached barn without the owner's permission. An estate agents board has been fixed alongside the road stating the barn and grounds are up for sale. No contact has been as received from the owner and therefore a visual inspection of the barn on 30th December 2022 was carried out. External photographs were taken as seen in figures 1 to 4 below, as there was no access to inspect internally. A sold sign was evident on the estate agents board.

Generally, the building has not been maintained and is in very poor and unstable condition as a result of disuse and neglect (Figures 1 to 4).

The pitched roof consists of corrugated iron roofing sheets and are in poor condition.

The external walls consist of a timber frame on a stone plinth, brick noggin/butt-jointed timber boarding, stone gable end walls with timber weather above. It is evident that no repairs or stabilisation of the structure has been carried out since the last inspection in 2017. The walls are potentially dangerous and requires urgent to temporary support and repairs to stabilise the structure, make it weather proof and prevent further loss of important historic fabric.

Recommendations/Actions: The building has not been maintained and is in a very poor unstable condition a result of disuse and neglect. Without urgent intervention, the building fabric will continue to decay causing deterioration and loss of the remaining historic fabric.

The following works should be carried out with immediate effect:

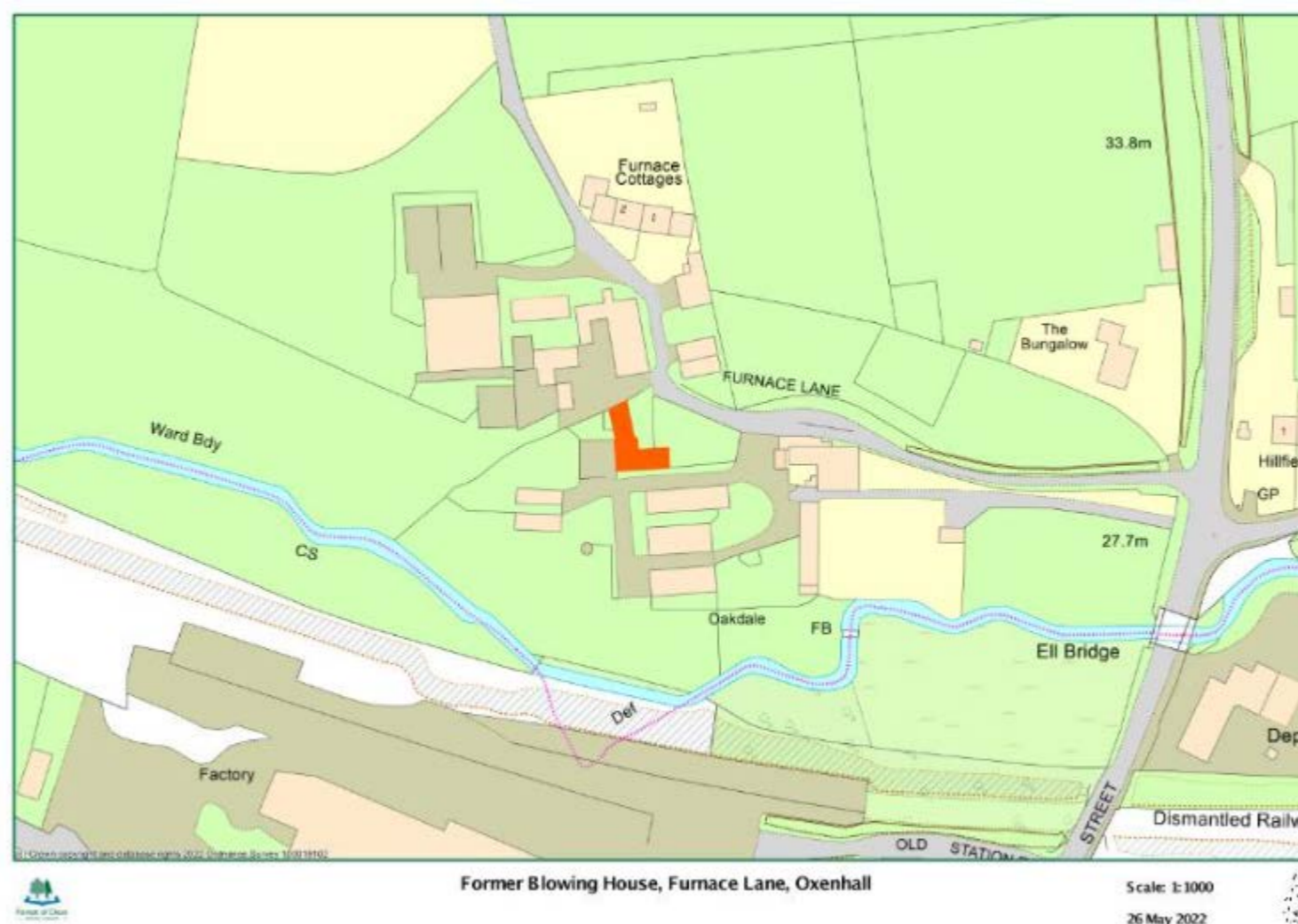
1. Council conservation officer should be made aware of the deteriorated condition of the building and necessary urgent actions taken to prevent further loss of the historic fabric.
2. The building owner needs to be identified and a plan of action should be agreed with the owner to repair and conserve the building.

6 . Barn, Cider Mill and Pigsty (Kilcot Inn), Kilcot

3. The building should be shored and boarded up to make the building safe and prevent trespass at the earliest opportunity
4. The building should remain of the BaR register.

Remain on Buildings at Risk Register? YES

7 . Former Blowing House, Furnace Lane, Oxenhall

7 Former Blowing House, Furnace Lane, Oxenhall**Designated:** Grade II**List entry Number:** 1078599**Parish:** Oxenhall**Owner contact details:** Private ownership - details unknown**Location Map:**

Description: Probably former blowing house for ironworks, now farm building. C17, altered early/mid C18, C19. Random-rubble stone to ground floor, roughly coursed in centre of south gable; above mixed Flemish and English bond brickwork to sides, Flemish bond to gable. Right wing brick on high stone plinth to ground floor, first floor late timber-framing faced corrugated iron. Tiled roof main block, corrugated iron extension. L-plan: main range left, 2-room long; both wings 2 storey; ground rises substantially behind to road. South facade, away from road: tall ground floor on left, rough ends to stone side walls, later stone between, double-boarded doors, small door cut in right half, heavy door posts and cambered timber lintel, brick arch over. Above brickwork inserted between ends of earlier side walls (about 340mm thick). Two-light shuttered window centre, 2 iron bars per light, cambered brick arch over. Above tiled offset to exposed kingpost truss; part rendered brick infill, 2 pairs braces. To right, set back wing, tall window, boarded door, 2 tall windows and further boarded door: two 2-light windows above, whole no higher than ground floor on left. Left return, 2 low blocked openings, second with semi-circular

7 . Former Blowing House, Furnace Lane, Oxenhall

head: later small square window on left. Stonework returns on left to enclose 2 sides courtyard, probably associated with iron works, forming retaining walls. Above 3-light window, leaded lights, on left; behind retaining wall end of single-storey brick lean-to to gable of main section:: small chimney. Interior: tall room through double doors; internal buttresses on left, on right wall thicker at low level, slightly curving face. Rear wall brick-nogged timber-framing, curved in plan, of later date than stonework. Plaster ceiling. In right wall a large, semi-circular headed opening from extension, gives onto rear room: partly blocked by timber-framed wall noted above. Forest of Dean District Council Listed Buildings at Risk Register 2017-2019 39 Rear room, a small window each side wall, late alteration: square iron grille in gable, now blocked: low, brick barrel vault. Above, access only from outside at rear, up stone steps to quarter landing, 2 rooms, rear brick paved, both lofted, plastered ceiling; 3-bay roof over, trusses as gable, 2 pairs flat purlins, square ridge. Documentary evidence of corn mill of C16 or early C17: converted to iron works by 1645, became part of Foley iron-working partnership in 1658, apparently ceased working by mid C18. Rudder implies iron working ceased by about 1730, not 1778 as noted in previous listing. Evidence difficult to interpret, but main range appears to have extended originally further to south: king-post trusses probably early C18. Low wing on right much altered in late C19. Important remains of pre-Industrial Revolution ironworks, outlier of Forest of Dean industrial area. Forms group with farmhouse and former charcoal barn (q.v.). (S. Rudder, *A New History of Gloucestershire*, 1779; R.A. Stiles, *Elmbridge Furnace, Oxenhall*, in *Gloucestershire Historical Studies*, Vol. V, 1972.)

Occupancy: Derelict at time of inspection

Photos taken in Survey 2021:



Fig. 1 Side elevation



Fig. 2 Side elevation



Fig. 3 Front elevation



Fig. 4 Front elevation

7 . Former Blowing House, Furnace Lane, Oxenhall



Fig. 5 Internal view



Fig. 6 Internal view of defective lath and plaster ceiling



Fig. 7 Internal view

Background:

2017- A visual inspection of the building was carried out for the BaR register in 2017. The building was unoccupied and appeared to be in a sound weather tight condition with evidence of deterioration to the building fabric through what appears to be historic roof leaks. The owner had over the past few years commenced essential repairs to the external walls and had constructed a new roof above the three-storey part of the building using reclaimed plain tiles, breathable membrane and new timber rafters supported by the original oak roof trusses and purlins. The two storey and single storey elements of the building remained untouched- the owner confirmed this was an ongoing project and expected it to be completed in the next 5 years.

Condition Appraisal: A visual inspection of was carried out on 4th November 2022 and photographs were taken as seen in figures 1 to 7. The building was secured at time of inspection to prevent unauthorised access and the owner could not be contacted. Therefore, inspection of the building was limited to those areas externally accessible. The external condition of the building appears to be the same as in 2017.

Additional Information from Owner: The owner has provided an email stating the following: 'The Furnace is currently in a development state to a single dwelling with planning permission and listed development consent granted back in 2009. The main roof structure, which was of main concern at the time was completed shortly after and held the building in a strong condition. We took over ownership in 2020 after the previous owners decided to split the land and project from Oakdale Farm. The transfer process was slightly more complicated than usual and was further made difficult due to the covid

7 . Former Blowing House, Furnace Lane, Oxenhall

pandemic but we have managed since to concentrate on some of the main concerns to the fabric of the building. Mainly the rear of the east section which needed 160 Tonnes of earth removed to relieve the water ingress into the original stone work of the Iron Furnace. This internal area was at the time sodden with an extreme damp issue (see photos). Once this area was completed it needed 18 months to dry out before work could start on repointing & lime washing. This is almost complete now (see photos). Alongside this repointing the lime mortar was completed to the south side stone to prevent any further weather damage after removal of all the ivy of the entire building (see photos). As part of the approved plans 1 of the later dated internal walls which was put up to house livestock has been removed to increase airflow around the building. These steps have significantly improved the overall general condition of the internals and pleased to report that all water ingress/damp has now been dealt with. It is, at times, a painfully slow process but the plan for the next 2 years includes:

- A new roof structure to the east wing
- Replacement of joists using reclaimed oak for the floor of east wing retaining as much of the original as possible.
- Continue the rebuilding of the exterior wall on the east side of the main building.
- Double garage build at rear North side

There are also of course the usual necessities to run along side above, mainly utilities needed for the conversion into a single dwelling.

I appreciate this situation is rather unique being a conversion project and on the buildings at risk register but it is moving in the right direction and I'm happy to keep you informed of any progress and of course welcome you to visit the site at any time.'

Additional photos from Owner:



Earth Removal from Rear (BEFORE)



Earth Removal from Rear (AFTER)

7 . Former Blowing House, Furnace Lane, Oxenhall



Damp internal walls (BEFORE)



Internal walls (DURING drying out period)



Internal walls (AFTER drying out) and being re-pointed and limewashed



Internal walls being repointed and limewashed

7 . Former Blowing House, Furnace Lane, Oxenhall



External wall BEFORE



External wall AFTER removal of ivy and repointing work

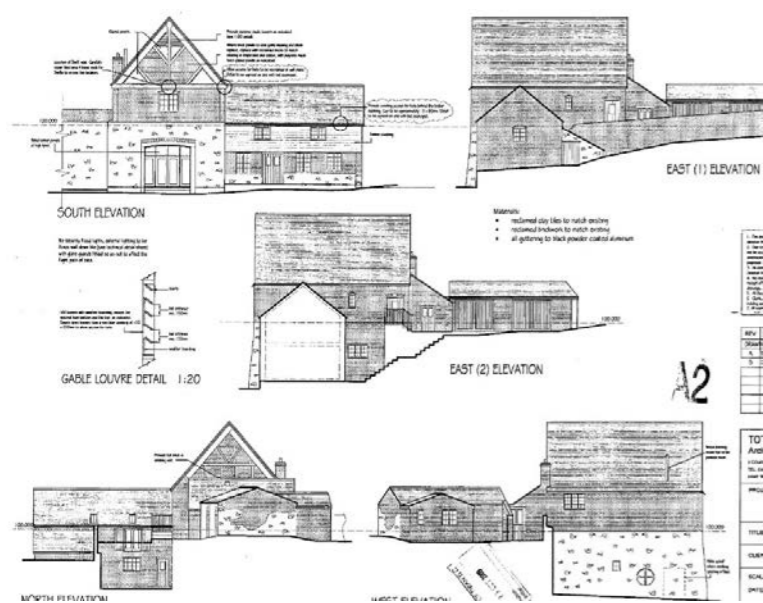


Internal wall BEFORE



Internal wall AFTER repointing and limewashing

7 . Former Blowing House, Furnace Lane, Oxenhall

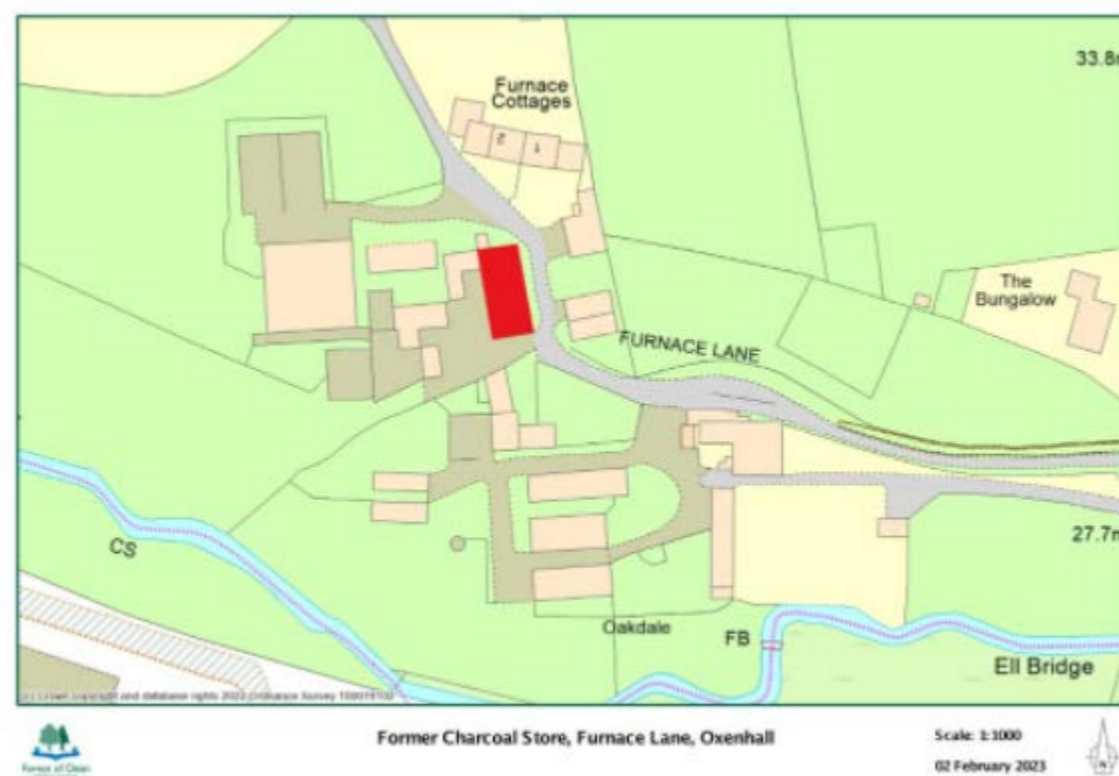


Planning application - elevation drawings

Recommendations/Actions: This building should remain on the buildings at risk register and will be visited on the next review.

Remain on Buildings at Risk Register? YES

8 . Former Charcoal Store, Furnace Lane, Oxenhall

8 Former Charcoal Store, Furnace Lane, Oxenhall**Designated:** Grade II**List entry Number:** 1078600**Parish:** Oxenhall**Owner contact details:** Private ownership**Location Map:**

Description: This building is associated with the former blowing house situated close by and is in separate ownership from the blowing house. The former charcoal store was used to store charcoal for the iron furnace and it is believed to be the only remaining 17th century store in the district.

Occupancy: Used as a store since the current owner bought the property in Feb 2022. The owner's future plans for the store are stated in the condition appraisal below.

Historic Photos:

8 . Former Charcoal Store, Furnace Lane, Oxenhall



2009

Photos taken in Survey 2022:



Fig.1 Front elevation



Fig.2 Side and rear elevation

8 . Former Charcoal Store, Furnace Lane, Oxenhall



Fig. 3 Side and rear elevation



Fig. 4 Internal view towards front elevation



Fig. 5 Internal view towards rear elevation



Fig. 6 Internal view of decaying stonework and defective lime pointing

8 . Former Charcoal Store, Furnace Lane, Oxenhall



Fig. 7 Internal view of cracking evident in stonework



Fig. 8 Cracking evident in between modern infill brick and original stone



Fig.9 Modern repair to buttress



Fig. 10 Modern repointing of buttress

Background:

2018 - A visual inspection of those areas accessible for inspection was carried out. The owner claimed the store was listed without the roof - which in the last 30 years has been replaced with modern corrugated cement fibre sheets supported by timber purlins and a steel frame erected within the building which is keeping the building weather tight. The external walls are constructed of predominantly roughly coursed and squared red sandstone with buttresses and the top 1.5m section has later been rebuilt between the buttresses in grey random rubble sandstone. The large gable end doorway has been rebuilt in modern brickwork to the left-hand side and the opposite gable end opening has been blocked up in modern concrete block work. Externally, the roughly course and squared red sandstone walls are suffering from extensive wind erosion and scaling of the stone faces has occurred, lime mortar has eroded away leaving open joints and loose areas of stone and is generally in very poor condition. The external walls require urgent repairs and localised rebuilding/repointing to stabilise the walls to prevent further deterioration of the structure. The owner was made aware of the urgent repair works required.

Condition Appraisal: A visual inspection of was carried out on 4th November 2022 and photographs were taken as seen in figures 1 to 10.. The condition of the building remains the same as 2018 (figures 1-7). The current owner claims he intends to restore the building by repointing/localised rebuilding works using lime mortar, remove the modern steel frame and rebuild a new traditional hard wood truss roof with purlins/rafters and roof coverings to match the original. It will require planning/listed building consent/building regulations approval before the works commence.

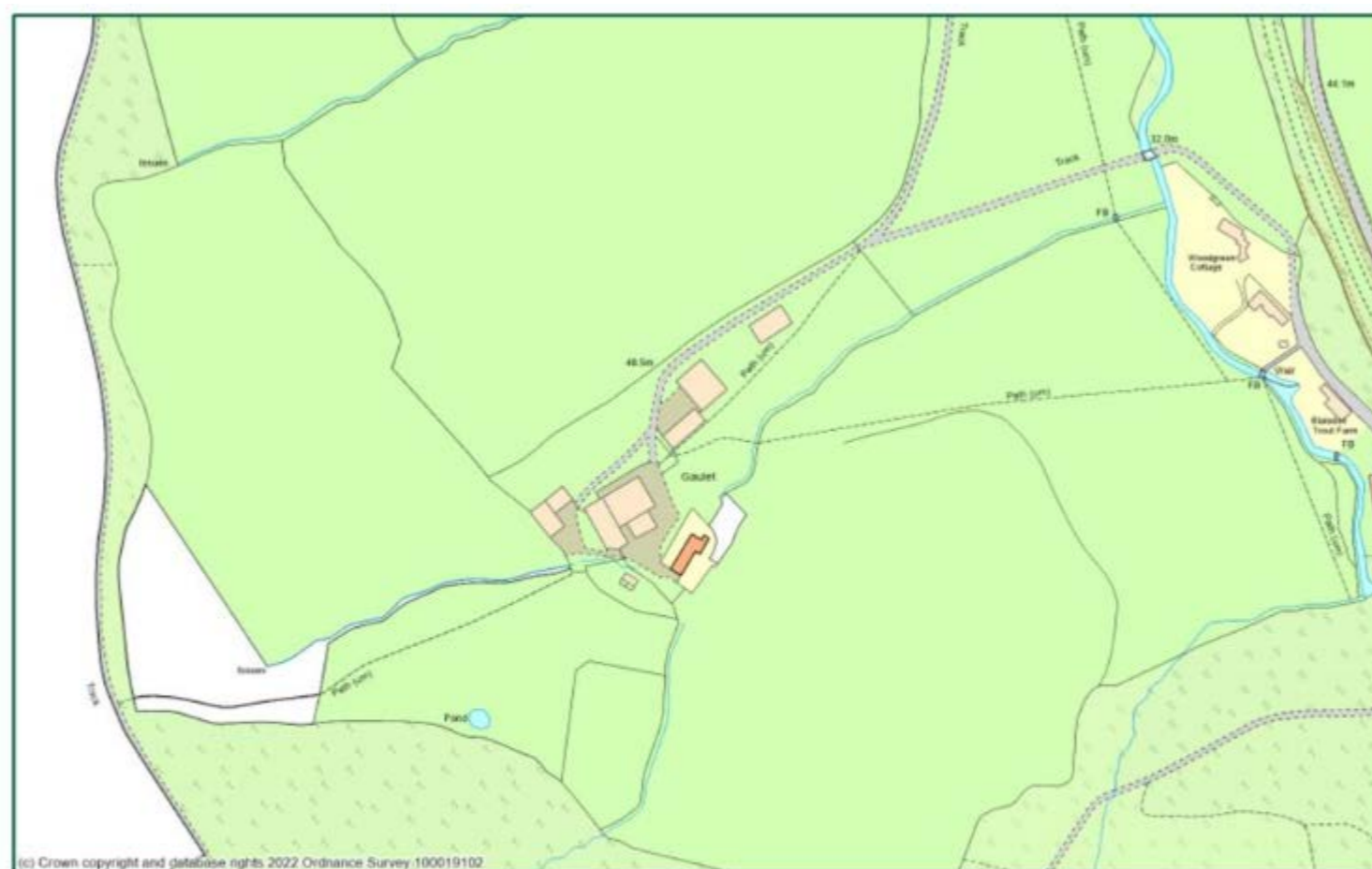
8 . Former Charcoal Store, Furnace Lane, Oxenhall

Additional Information from Owner: The owner has provided an email stating the following: ' To give a little more info from our side, we have a long term plan to restore all the heritage buildings at the farm including the charcoal store. The work will involve full stone restoration, rebuilding and repointing as well as a new roof based on historic photos of the previous original structure. All this work is both costly and time reliant and therefore sufficient time will be needed to plan a schedule of work with our heritage consultant and our work to make it a community project. Currently we are still working towards securing PA on a barn conversion the other side of the farm and until that progresses we cannot commit to any extensive restoration work, simply due to the fact we have no dwelling at the property. While I doubt much of the building has altered at all in the past decades, we can look to prioritise any imminent mortar repairs.'

Recommendations/Actions: The conservation officer should be informed of the owners' proposal and arrange a site meeting to discuss the extent of the works. This building should remain on the buildings at risk register and will be visited on the next review.

Remain on Buildings at Risk Register? YES

9 . Gaulet Farm, Blaisdon

9 Gaulet Farm, Blaisdon**Designated:** Grade II**List entry Number:** 1299194**Parish:** Blaisdon**Owner contact details:** Private ownership**Location Map:****Gaulet Farm, Blaisdon**

Scale: 1:2500

15 February 2023



Description: This late 16th/Early 17th century partially timber framed house with rear elevation of stone rubble has possible medieval origins. It displays a lobby entry two room plan with some later additions in the form of cross wings. The farmhouse serves the working farm and is badly run down with loss of external render, erosion of stonework, loss of mortar and water ingress. A large internal and external structural crack in the left gable elevation suggests the gable is separating from the rest of the house.

Occupancy: Occupied as a dwelling.

Historic Photos:

9 . Gaulet Farm, Blaisdon



2004 (photo taken from <https://historicengland.org.uk/listing/the-list/list-entry/1299194>)



Date of when the photo was taken is unknown

Condition Appraisal: A visual inspection of was carried out on 4th November 2022. No photographs were to be taken at the request of the occupant. The occupant claims major renovation works were carried out in 2007 to repair the building fabric including external re-pointing and external render to all previous rendered walls which appears to be lime based. The roof appears to be in a good weather tight condition, however there appears to be a defective rainwater gutter on the front elevation causing water to flow onto the external wall. The occupant is aware of the problem and claims it will be remedied. Otherwise, from a visual inspection of those areas accessible for inspection externally and internally in the kitchen it appears the building is in a good state of repair and is no longer a building at risk.

Recommendations/Actions: The building can be removed from the BaR Register.

Remain on Buildings at Risk Register? NO

10 . Granary and Barn at Grove Farm, Westbury-on-Severn

10 Granary and Barn at Grove Farm, Westbury-on-Severn**Designated:** Grade II**List entry Number:** 1186531**Parish:** Westbury-on-Severn**Owner contact details:** Private ownership**Location Map:**

Description: Built in the second half of the 17th century, this five bay timber framed barn sits on a random rubble stone plinth and incorporates a two bay granary over a former stable. Some brick nogged panels and wattle and daub infill panels remain, but certain sections are covered in weather boarding. There is a stone paved threshing floor.

Occupancy: The detached barn is used for storage by the owner who lives in the farm house on the same site.

Historic Photos:

10 . Granary and Barn at Grove Farm, Westbury-on-Severn



2006

Photos taken in Survey 2022:



Fig.1 Side elevation



Fig.2 End elevation 1

10 . Granary and Barn at Grove Farm, Westbury-on-Severn



Fig. 3 Side elevation 2



Fig. 4 End elevation 2



Fig. 5 Defective door frame to side elevation opening 1



Fig. 6 Internal view of roof

10 . Granary and Barn at Grove Farm, Westbury-on-Severn



Fig. 7 Internal view to underside of first floor



Fig. 8 Internal view of roof and internal timber framed wall infilled with wattle and daub and brick infill panels below

Background:

2006 - the barn was recorded as being in risk category 3, was in structurally sound condition but urgent repairs were required to the cladding.

2017 – The barn was inspected and it was evident that since 2006, vertical timber cladding had been fixed to the complete area of the front and rear walls and one gable end wall of the barn. The owner had confirmed that vertical timber cladding has been fixed over the original oak frame and brick noggin /wattle and daub infill panels to the walls of the barn to keep the building weather tight and prevent any further deterioration of the panels which were beginning to fall apart, particularly the higher panels which were potentially dangerous to any walking below them. The gable end wall adjacent to the farmhouse house had been partially timber clad, but the remaining exposed timber frame with brick noggin /wattle and daub infill panels were in a very deteriorated condition and daub had started to laminate off the wattle panels. The panels are a potential danger and require urgent repair works to make them weather proof and prevent further loss of this important historic fabric. The timber frame appeared structurally sound, the clay Rosemary roof tiles were in fair condition and the owner agreed to re-fix/replace slipped tiles/defective tiles to match the existing to ensure the building was weather tight. Defective mortar to the stone work plinth and remaining rubble wall to gable end stairs required re-pointing in lime mortar to match the original. The owner had no current plans to convert the building at that time.

Condition Appraisal: 2022- A visual inspection of was carried out on 4th November 2022 and photographs were taken as seen in figures 1 to 11. The external modern timber cladding and Rosemary roof tiles appears to be in a fair weather proof condition and since the last inspection the owner has re-fixed/replace slipped tiles/defective tiles to match the existing to ensure the building is weather tight. Defective mortar to the stone work plinth requires re-pointing in lime mortar to match the original (Figures 1 to 4). The original timber frame and roof structure appear to be in plumb and stable condition, the first floor structure and boarding appears to be in a stable condition (Figures 6 to 8). Section of door frame to side opening 1 is defective and requires repair (Figure 5). Internal timber stairs and guarding etc appear to be in fair condition (Figure 10). Original timber cladding (now over boarded) appears defective and requires repair (Figure 11). Wattle and daub and brick infill panels are generally in fair condition (Figures 8 & 12) but areas of defective fabric need urgent repair to prevent loss of important historic fabric (Figure 12). The owner claims he has no current plans to convert the building but this may change in the future- no time scale given.

Recommendations/Actions: The building to remain on the BaR register and will be reviewed during the next review.

Remain on Buildings at Risk Register? YES

11 . Railway Viaduct at Purton, Awre

11 Railway Viaduct at Purton, Awre**Designated:** Grade II**List entry Number:** 1299210**Parish:** Awre**Owner:** Private Ownership**Location Map:****Description:** Railway viaduct built c. 1832, sandstone construction with three arches and parapet both sides. Its use is now obsolete.**Occupancy:** N/A**Historic Photos:**

11 . Railway Viaduct at Purton, Awre



Photo taken 2009



Photo taken 2017

Photos taken in Survey 2021:



Fig.1 Part elevation taken from lower road

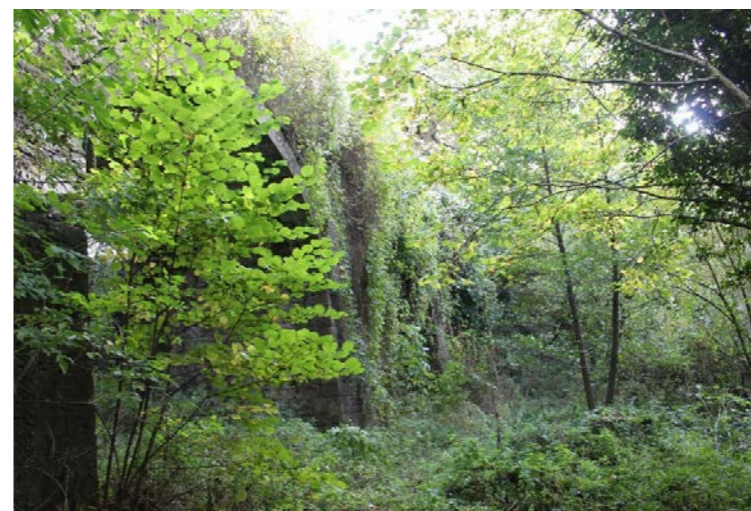


Fig. 2 Part elevation taken from lower road

11 . Railway Viaduct at Purton, Awre



Fig. 3 Part elevation taken from lower road



Fig. 4 Part elevation taken from upper road



Fig. 5 Part elevation taken from upper road



Fig. 6 Intrados of central arch with face voussoirs missing on upper road side

Condition Appraisal:

Parapet level (above arches)- Extensive vegetation and tree growth is evident and accurate assessment is difficult (Figures 1 and 2). Main walls appear stable however upper courses of stonework appear loose and the majority of the mortar joints are defective. The carriage way surface between the parapets was not accessible and the condition could not be assessed.

Arches - There are three arches and all appear to be stable (Figures 3, 4 and 5) however a number of the face voussoirs are missing from the crown of the central arch on the upper road level side and the mortar joints are defective (Figure 6).

Main walls - Appears to be stable however upper courses of stone work at the bridge abutments appears loose and the majority of the mortar joints are defective (Figure 1 to 5). There is an Ordnance Survey Bench mark carved into a quoin stone on the central side wall. The historic detail is eroding away due to lamination of the stone.

11 . Railway Viaduct at Purton, Awre

Conclusion – Since the last assessment in 2018, extensive vegetation and tree growth has engulfed the complete structure and requires removal to fully assess the condition of the building. Main stone walls and arches appears stable however, there are areas of stonework that appear loose and the majority of the mortar joints are defective allowing the ingress of moisture, frost action and root growth causing progressive deterioration of the structure and loss of the important historic fabric. Council records indicate the vegetation growth was removed from the viaduct by a volunteer work force back in 2004 and nothing more appears to have been done since this time. The structure is becoming a potentially dangerous structure to the general public who use the main road below. Ownership details of the viaduct are unknown and a legal search should be carried out with Land Registry.

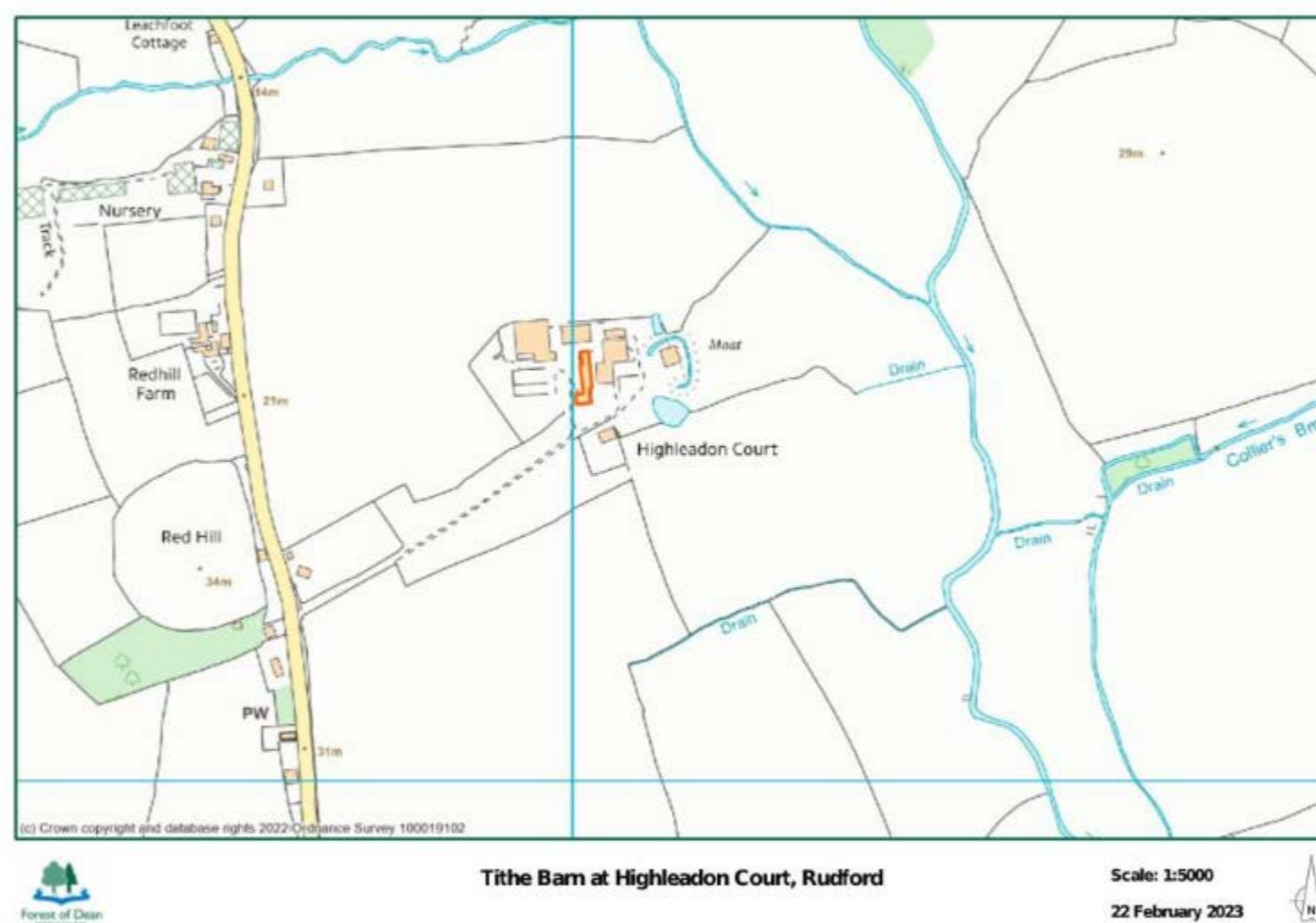
Recommendations/Actions:

Urgent action is required as follows:

1. A legal search should be carried out to establish the legal owner of the structure.
2. Action plan drawn up immediately to safeguard the structure
3. Vegetation should be removed to fully assess the condition of the structure
4. Action plan should be implemented with enforcement action if necessary.
5. This structure should remain on the buildings at risk register and condition of the building monitored.

Remain on Buildings at Risk Register? YES

12 . Tithe Barn at Highleadon Court, Rudford

12 Tithe Barn at Highleadon Court, Rudford**Designated:** Grade II***List entry Number:** 1152574**Parish:** Rudford and Highleadon**Owner:** Private ownership**Location Map:**

Description: This is a late medieval barn, C15 or early C16, for Abbey of St. Peter, Gloucester. It is a close-studded timber framing with vertical boarding and corrugated-iron roof. It has seven bays with a central threshing floor.

Occupancy: The barn is currently used for storing agricultural machinery.

Historic Photos:

12 . Tithe Barn at Highleadon Court, Rudford



Photo taken in 2006

Photos taken in Survey 2021:



Fig.1 Front and side elevation of the deteriorated barn.



Fig. 2 Side and rear elevation of deteriorated barn.

12 . Tithe Barn at Highleadon Court, Rudford



Fig.3 Temporary strapping restraining frame and preventing collapse. Stored materials still accessed by heavy farm machinery.



Fig.4 Temporary strapping restraining frame and preventing collapse.



Fig.5 Temporary propping of frame preventing collapse where wall plate has rotted away.



Fig.6 Temporary propping of frame preventing collapse where wall plate has rotted away.

12 . Tithe Barn at Highleadon Court, Rudford



Fig.7 Gabion baskets provide temporary buttressing to prevent further movement and collapse of the outer walls.



Fig.8 Timber frame exposed to the elements is severely deteriorated and collapsing from the building.



Fig.9 Entrance is in a precarious condition and still used by heavy farm machinery.

Condition Appraisal:

Background - Highleadon Court farm has been owned by the family since 1929 and the barn has been on the councils' buildings at risk register since 2006. The barn was used as a grain store until 2000 and the owner now has planning permission to erect a new barn adjacent the historic barn. The planning permission was subject to a condition to carry out repair works to the historic barn (extent of the planning condition to be established). The barn is in a very severe progressive state of decay, it is unstable and collapse is imminent without immediate action being taken to stabilize the structure (Figures 1, 2, 8 and 9).

12 . Tithe Barn at Highleadon Court, Rudford

2018 - Owner commissioned a report on the condition of the barn from Mann Williams who are a conservation experienced structural engineering practice. The owner has provided a copy of the report seen in Appendix A20 of this appraisal.

2020 – The owner carried out temporary strapping of the timber frame (Figures 3 and 4) and buttressing of the barn walls (Figures 5 and 7) in accordance with Mann Williams report. The owner claims additional adjustable steel propping was also installed to support the timber posts where the timber wall plates had rotted away (Figures 5 and 6).

2021- Although temporary stabilisation works have been undertaken to prevent imminent collapse it is apparent the decay is still progressive as seen by the additional steel propping not identified in Mann Williams report. This propping has been carried out to support the base of the timber posts that have lost support from the rotting wall plates below. Without these props collapse of the building would have occurred.

Stone filled gabion basket buttresses have been used instead of sand filled large bags required by Mann Williams report and how they have been constructed may be of little effect to prevent movement of the walls. Raking shoring or a structural scaffolding with full weather protection would be more effective.

The building is still in a precarious condition and is at risk from collapse, particularly if subject to storm force winds/snow loading etc. It is a potentially dangerous building. It should be cordoned off at a safe distance with Herra type fencing and not used until it is fully stabilised.

Council Conservation officer and Historic England should be made aware of the deteriorated condition of the barn and necessary urgent actions taken to prevent further loss of historic fabric and potential collapse of the barn.

Mann Williams (or other conservation experienced structural engineer) should be consulted again on the barns condition and a more permeant structural scaffolding around and within the building should be considered together with full weather protection to stabilise and protect the structure until a plan of action and conservation management plan can be implemented (similar to Gunns Mill).

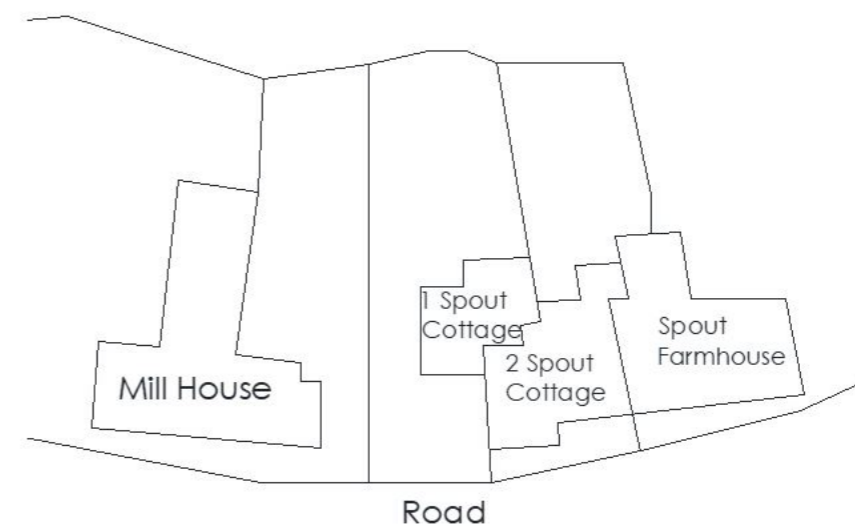
The owner has indicated they don't have the funds to carry out extensive works to the barn and would consider match funding.

Recommendations/Actions: The building is in a poor and deteriorated condition and at extreme risk of further deterioration and collapse. The building is potentially dangerous. It is recommended that the following works should be carried out:

1. Council Conservation officer and Historic England should be made aware of the deteriorated condition of the building and necessary urgent actions taken to prevent further loss of historic fabric. With immediate effect the building should be cordoned off with security fencing (Herra type) with danger keep out signs fixed to each elevation. Update: In June 2023, the applicants confirmed in writing that they have taken on board the Council's suggestions and will put Herra fencing at the entrances with safety signs attached.
2. Mann Williams (or other conservation experienced structural engineer) should be consulted again on the barns condition and a more permeant structural scaffolding around and within the building should be considered together with full weather protection to stabilise and protect the structure until a conservation management plan can be implemented (similar to Gunns Mill).
3. Plan of urgent action should be agreed with the owner until a conservation management plan can be agreed and implemented

Remain on Buildings at Risk Register? YES. This building should remain on the buildings at risk register and condition of the building monitored.

13 . Spout Farm Cottages (North and Middle), Newland

13 Spout Farm Cottages (North and Middle), Newland**Designated:** Grade II**List entry Number:** 1212893**Parish:** Newland**Owner:** Private Ownership**Location Map and Site Plan:**

Description: These two early 17th century cottages are attached to the farmhouse which is not listed. The cottages are built in local rubble sandstone with lime mortar, original stone mullion windows with label mouldings are on the front elevation some with original leaded lights and iron catches and supports. The slate roof coverings would probably have been stone tiles, judging from the large section oak roof trusses supporting oak purlins and rafters.

Occupancy: 1 Spout Cottage is unoccupied. 2 Spout Cottage is occupied as a dwelling. Spout Farmhouse is unoccupied.

Historic Photos:

13 . Spout Farm Cottages (North and Middle), Newland



Photo taken in 2006 - Front Elevation

Photos taken during the latest survey in 2021:



Fig.2 Front elevation - 1 Spout Cottage in foreground



Fig. 3 Front elevation - 2 Spout Cottage

13 . Spout Farm Cottages (North and Middle), Newland



Fig.4 Front elevation - Spout Farmhouse in foreground



Fig. 5 Side elevation - Spout Farmhouse in foreground



Fig. 6 Rear elevation - 1 Spout Cottage in foreground



Fig. 7 Repair of beams and temporary propping of floor

13 . Spout Farm Cottages (North and Middle), Newland



Fig. 8 Repair of beams and temporary propping of floor



Fig. 9 Repair of roof in progress



Fig. 10 Underpinning to stabilise walls in progress

Condition appraisal:

The building was inspected on 5 November 2021 with the owner Mr T Franklin present who agreed for photographs to be taken and used in the Bar Register

The current owner has owned Spout cottages 1 and 2 including Spout Farmhouse since 2012 (Figure 1) at which time the buildings were derelict and in a very deteriorated condition. The buildings have been on the BaR Register since 2006.

The owner claims the FoDDC Conservation officer has in the past visited the site. Since then, it is evident the owner has carried out sensitive repair and renovation works as follows:

13 . Spout Farm Cottages (North and Middle), Newland

1 Spout Cottage-10% urgent underpinning and repair works have been carried out to make the building stable and weather tight (Figures 2, 6, 8, 9 and 10). It is hoped to complete the repair and restoration works and occupy the building as a dwelling in the next five years. The owner has not applied for listed building consent or building regulations approval.

2 Spout Cottage-90% repair and restoration works have been carried out and is currently occupied as a dwelling (Figure 2). It is hoped to complete the repair and restoration works in the next two years, including front window repairs and damp proofing of floor. The owner has not applied for listed building consent, however has building regulations approval.

Spout Farmhouse-although this building is not listed it should be considered for listing as it has an important group value (Figures 4 and 5). The owner would consider listing when the repair works have been completed. The repair and restoration works are 50% completed and expected to be completed in five to seven years' time and would be occupied as a dwelling (Figure 7). The owner has not applied for listed building consent or building regulations approval.

Recommendations/Actions:

Although the owner appears to be carrying out sensitive repair/restoration work to the buildings, there are some legal issues to resolve such as listed building consents and building regulations applications that have not been applied for. I have discussed this with the owner and he claims he intends to carry out the following:

1. Intends to contact a conservation experienced architect/ surveyor to represent him and make any necessary applications. I have made him aware that planning enforcement may take action against him.
2. Going to make a building regulations application to regularise the works already carried out and for that which is proposed.

Although the owner has a seven-year business plan to restore the buildings into dwellings which should allow all the buildings at risk to be repaired and renovated, they should be retained on the buildings at risk register and their condition monitored.

Remain on Buildings At Risk Register?: YES

14 . Ty Anon Farm (formally Barn at Elliott's Farm), Taynton

14 Ty Anon Farm (formally Barn at Elliott's Farm), Taynton**Designated:** Grade II**List entry Number:** 1078580**Parish:** Taynton**Owner:** Private Ownership**Location Map:**

Barn at Elliott's Farm, Taynton

Scale: 1:2000

11 April 2023



Description: An example of an 18th century three bay barn, with a loft added in the late 19th century. The gables and back wall of the building are built from random rubble stone with timber framing to the yard elevation. The timber framing is situated on a stone plinth with brick infill panels, the upper two panel sections have cross shaped ventilation holes. On the yard elevation there are a set of large double boarded doors. The building has a corrugated iron roof. The list describes the building as an interesting example of the late stage of timber framing.

Occupancy: Derelict, but is secured to prevent public access.

Historic Photos:

14 . Ty Anon Farm (formally Barn at Elliott's Farm), Taynton



2009



2017

Photos taken in Survey 2021:



Fig. 1 Side elevation - is in fair condition



Fig. 2 Rear elevation - is in fair condition

14 . Ty Anon Farm (formally Barn at Elliott's Farm), Taynton



Fig. 3 Part side elevation (in background) is in fair condition



Fig. 4 Internal photo of barn viewed through a narrow wall opening - roof and wall structures appear in a stable condition



Fig. 5 Internal photo of barn viewed through a narrow wall opening - the original timber frame is on the left with brick infill panels removed. This elevation is open to the elements causing deterioration to the remaining building fabric.

14 . Ty Anon Farm (formally Barn at Elliott's Farm), Taynton



Fig. 6 Internal photo of barn viewed through a narrow wall opening - roof and walls structures appear in a stable condition

Background

2006 -the barn was recorded as being in risk category 4, and was in a poor state of disrepair.

2017 -the barn was inspected with the owners and following works have been carried out/in progress:

- Infill brick panels were taken down as a dangerous structure notice was issued by the Council.
- Repair /renovation works are in progress, rebuilding/re-pointing of defective areas of stone walls have been carried out.

Condition appraisal:

2022- A visual inspection of was carried out on 4th November 2022 and photographs were taken as seen in figures 1 to 7 above. Access to the barn was limited to the rear and side elevations. There was no access to the front elevation or internally other than through a narrow opening.

The roof structure consists of traditional roof trusses supporting purlins and rafters and appears in a stable condition (figs 5 & 7). The roof coverings consist of corrugated steel roofing sheets and appear in a fair watertight condition (Figures 1 & 2).

The front elevation wall consists of a timber frame with brick infill panels which have been substantially removed. Records in 2017 confirm areas or panels were taken down owing to a dangerous structure notice was issued by the Council. This elevation is now open to the elements causing decay, deterioration and loss of the remaining historic fabric.

The side and rear elevation consist of solid stone walls built in random rubble and lime mortar. These external walls appear to be stable and plumb and in a fair watertight condition (Figures 1, 2 & 3).

Internally (from those areas visually accessible) stone and brick walls appear to be stable and plumb and some repointing has been carried out (Figures 4, 5 & 6).

Additional Information from Owner: The applicant has provided an email stating that 'Remedial work has been carried out on the building since the last survey and it is in a much more stable condition than previously. I am keen to progress works to ensure the building's long-term survivability. In the past, issues with access have made this difficult but I am fairly confident that any access issues are now resolved. I restarted works on the loose boxes recently but had to stop due to bat activity. I am currently investigating the Historic England funding avenues and will keep you apprised of developments. Ty Anon Farm is a rare example of preserved agricultural development throughout the 18th - 21st centuries'.

Additional photos from Owner:

14 . Ty Anon Farm (formally Barn at Elliott's Farm), Taynton



14 . Ty Anon Farm (formally Barn at Elliott's Farm), Taynton



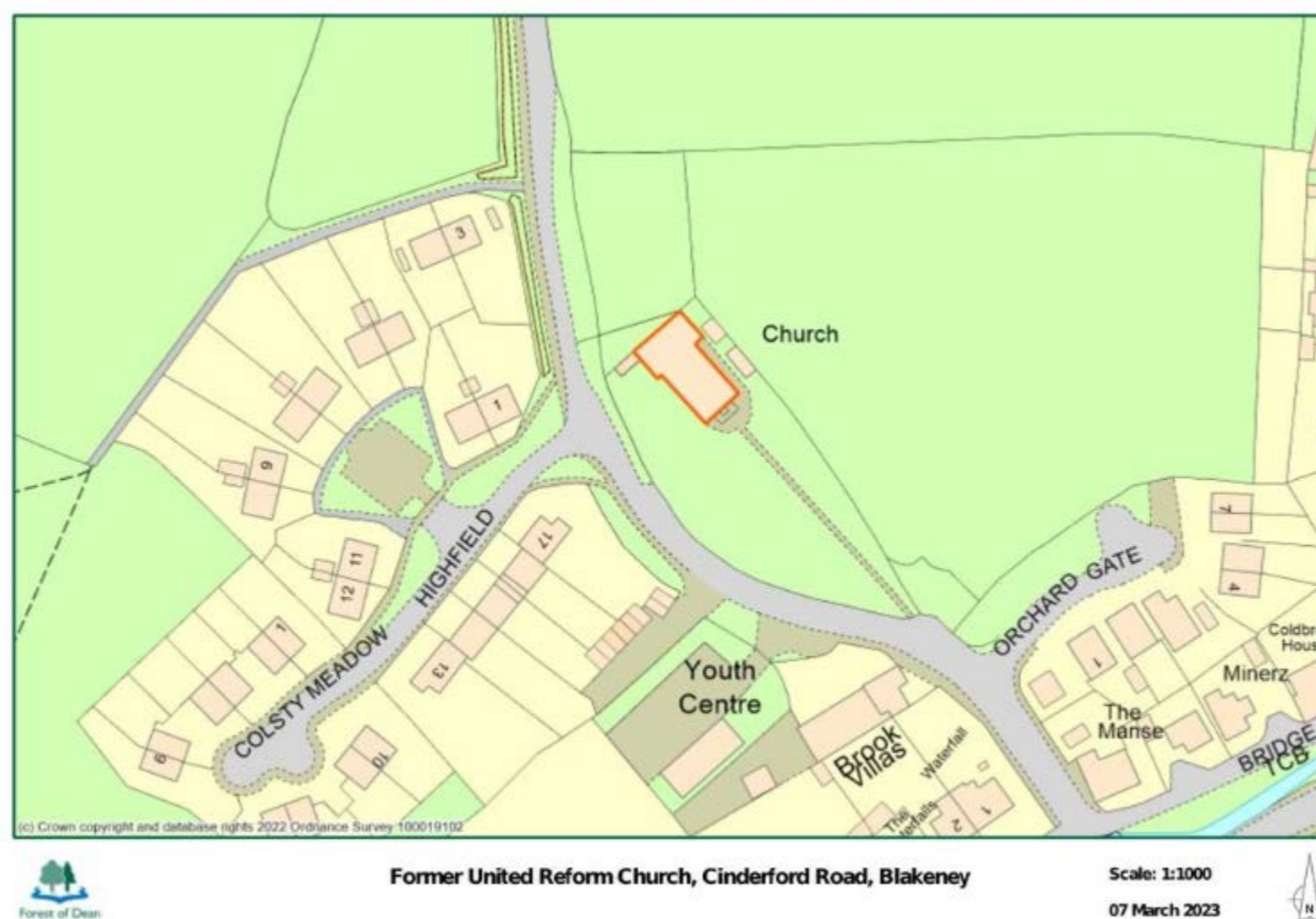
Recommendations/Actions: Although the building appears to be generally in fair condition, the conversion works are on stop and the front elevation is open to the elements causing decay, deterioration and loss of the remaining historic fabric.

The following works should be carried out with immediate effect:

1. Council Conservation officer should be made aware of the deteriorated condition of the building and necessary urgent actions taken to prevent further loss of the historic fabric.
2. A plan of action should be agreed with the owner to repair and conserve the building, including plans to convert the building into residential use.

Remain on Buildings at Risk Register? YES

15 . Former United Reform Church, Cinderford Road, Blakeney

15 Former United Reform Church, Cinderford Road, Blakeney**Designated:** Grade II**List entry Number:** 1186386**Parish:** Awre**Owner contact details:** Private ownership**Location Map:**

Description: A non-conformist Chapel dated 1849. This is an imposing building in a classical style front portico and pediment with gothic detailing, dressed stone detailing and ashlar front elevation, cement rendered left side elevation with ashlar lining and coursed stone rubble wall to the right hand elevation, built in lime mortar. Original iron and timber windows remain in dressed stone arched heads, jambs and sills. The pitched roof structure was not accessible for inspection, but has a slate roof covering and lath and plaster high level horizontal ceiling. There is an internal balcony, pews and air operated organ in the chapel. The rear school room is a single storey building attached to the main building with an internal balcony, slate pitched roof with boarded ceiling following the line of the rafters, supported by a rare example of a scissor roof truss, 2 rows of purlins and rafters, with external walls, built in coursed rubble stone and lime mortar. The priest's room is a single storey building attached to the main building and is built of corrugated iron walls and roof and lined out in timber boarding. The grave yard has graves still attended by relatives and is still used for new burials. There is no vehicular access.

15 . Former United Reform Church, Cinderford Road, Blakeney

Occupancy: The building and graveyard has been in the ownership of the current owner since the last inspection in 2006. The chapel and school buildings are not occupied but the grave yard is still used.

Historic Photos:

Photo taken in 2006



Photo taken in 2017

15 . Former United Reform Church, Cinderford Road, Blakeney



Photo taken in 2017

Photos taken in Survey 2021:



Photo taken in 2017

15 . Former United Reform Church, Cinderford Road, Blakeney



Fig.1 Front elevation



Fig 2. Part side elevation



Fig.3 Part side elevation



Fig.4 Rear elevation

15 . Former United Reform Church, Cinderford Road, Blakeney



Fig.5 Side elevation



Fig.6 Toilet roof retiled



Fig.7 External stonework is defective



Fig.8 Front porch roof has no weather protection

15 . Former United Reform Church, Cinderford Road, Blakeney



Fig. 9 Front porch roof soffit is deteriorating



Fig. 10 Defective parapet gutter



Fig.11 Defective parapet gutter is allowing ingress of water into the building



Fig. 12 Ingress of water has caused partial collapse of main ceiling finishes

15 . Former United Reform Church, Cinderford Road, Blakeney



Fig. 13 Ingress of water has caused partial collapse of main ceiling finishes



Fig. 14 Temporary propping of main ceiling structure

Condition appraisal:

The building was inspected on 12 November 2021 with the owner present who agreed for photographs to be taken and used in the Buildings at Risk Register.

The current owner has owned the church since 2000, it has a cemetery where people attend graves but the owner claims that no new burials are permitted. It is evident the owner has carried out sensitive repair and renovation works and has recently finished repair of the windows (Figures 1, 2, 3, 4 and 5), and replaced defective slates to the toilet roof (Figure 6).

Urgent attention is required to the following:

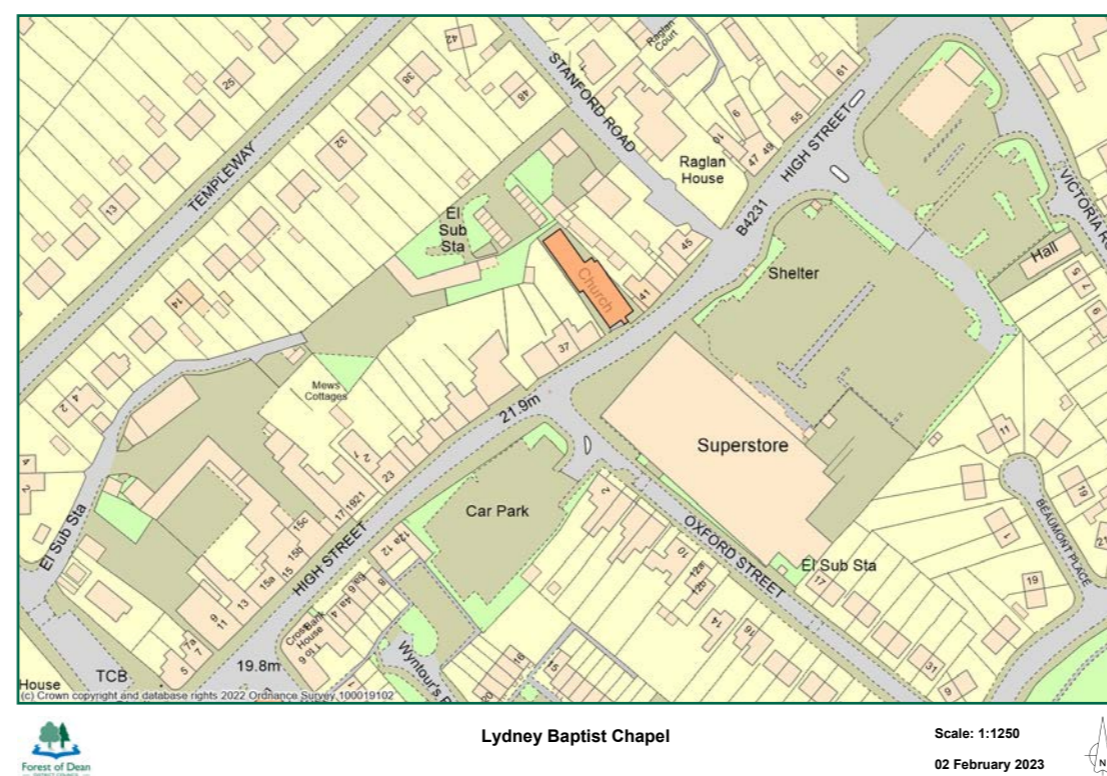
- Repair of defective stonework is required to plinth walls (Figure 7);
- The porch roof is letting in water and has caused damage to the soffit (Figures 8 and 9);
- Defective parapet gutters are allowing the ingress of water into the main church building (Figures 10 and 11) and has caused damage and partial collapse of the ceiling finishes (Figures 12 and 13);
- Temporary propping of the roof structure has been carried out to prevent collapse of the main church roof structure (Figure 14);
- Further investigation works are required to the main church floor which appears to be springing when walked over and is defective;
- General maintenance work.

Recommendations/Actions:

Although the owner has carried out sensitive repair and restoration works to the church and associated buildings, it is evident that further urgent repair works are required to prevent further deterioration and loss of the important historic building fabric.

Remain on Buildings at Risk Register? YES. It should be retained on the Buildings at Risk Register and its condition monitored.

16 . Former Lydney Baptist Chapel, Lydney

16 Former Lydney Baptist Chapel, Lydney**Designated:** Grade II**List entry Number:** 1186611**Parish:** Lydney**Owner contact details:** Private ownership**Location Map:**

Description: Chapel. Mid C19. Smooth rendered, asbestos-cement slate roof to pedimented front and hipped back. A simple plan, with school room or rooms attached at back, 3-bay front with heavy cornice on floral brackets. Interior has plain ceiling with rosette, panelled gallery front, pitch-pine pews. Simple, but notable in its context.

Occupancy: Redundant Chapel with the possibility of becoming a community building in 2023.

2022 - The building has a new owner and is currently undergoing works to restore the building. 2021 - Building first entered on the register as a listed building at risk. The Church is redundant and on the market to be sold. 12th May 2019 - Chapel was officially closed

Photos taken during survey in December 2022:

16 . Former Lydney Baptist Chapel, Lydney



Fig. 1 Front elevation - external walls recently repainted



Fig. 2 Part side elevation



Fig. 3 Part side elevation



Fig. 4 Part side elevation



Fig. 5 Part rear elevation - lean too roof coverings recently replaced



Fig. 6 Part rear elevation

16 . Former Lydney Baptist Chapel, Lydney



Fig. 7 Curtilage listed WWII Anderson shelter



Fig. 8 Boiler room



Fig. 9 Cast iron rain water goods



Fig.10 Nave timber window frames



Fig. 11 Sliding sash timber window frames



Fig.12 Internal view of Nave - has been recently repainted

Condition appraisal:

16 . Former Lydney Baptist Chapel, Lydney

The current owner purchased the property in March 2022 and intends to use it as a community building. Externally, the building consists of a front porch with access to a seating area on the first floor, a main nave area and a range of buildings to the rear (meeting room/kitchen/WC/ etc). External elevations are shown in figures 1 to 6. There is a curtilage listed WWII Anderson shelter to the side elevation (Figure 7). The main pitched roof was not accessible at the time of inspection but the owner claims it is constructed of principle trusses supporting purlins and common rafters and is in good condition. He also claims the roof coverings are in a sound condition. The lean too roof at the rear has been recently recovered in profiled metal sheets as an emergency measure by the new owner to prevent further water ingress and deterioration of the roof structure caused by the rusted through roofing sheets. The external walls are in a sound condition and consist of solid masonry with roughcast render finishes externally (probably a cement-based render) that have been recently painted (Figures 1 to 6). Original dressed stone features are in fair condition but require repair and repointing, inappropriate oil-based paint is peeling off and should be removed (Figures 2, 3 and 10). External joinery and rainwater goods are in poor condition but are being repaired and/or protection against further decay (Figures 8 and 9).

The external timber window frames are in a poor deteriorated condition, however are being repaired and /or protected against further decay (Figure 11). Three Upvc windows and an external door were replaced by the previous owner and are inappropriate (Figure 14). The new owner wishes to repair the original timber windows/boiler doors/frames, joinery and rainwater goods and replace the Upvc windows /door in painted timber joinery. The owner has confirmed he will discuss the replacement of any Upvc materials with the FoDDC Conservation officer/consult and obtain LBC prior to any works.

Internally, the original lime plaster wall finishes appear in fair/good condition and the internal surfaces have been recently re-painted. The original lath and plaster ceiling has cracking evident but appears in a sound condition (Figures 12, 13 and 14).

Discussions with the owner have taken place with regards to the use of vapour permeable lime finishes and appropriate vapour permeable paints to prevent the trapping of water that can cause deterioration of the building fabric. The ground and first floors appear in a sound condition. Original internal features (organ/pews/alter etc) are in fair /good condition. The new owner is aware that planning permission/listed building consent will be required for any new works and has been made aware he should contact the FoDDC conservation officer to discuss any proposals. I have also made the owner aware that building regulations approval may also be required and should contact BC before carrying out any works.

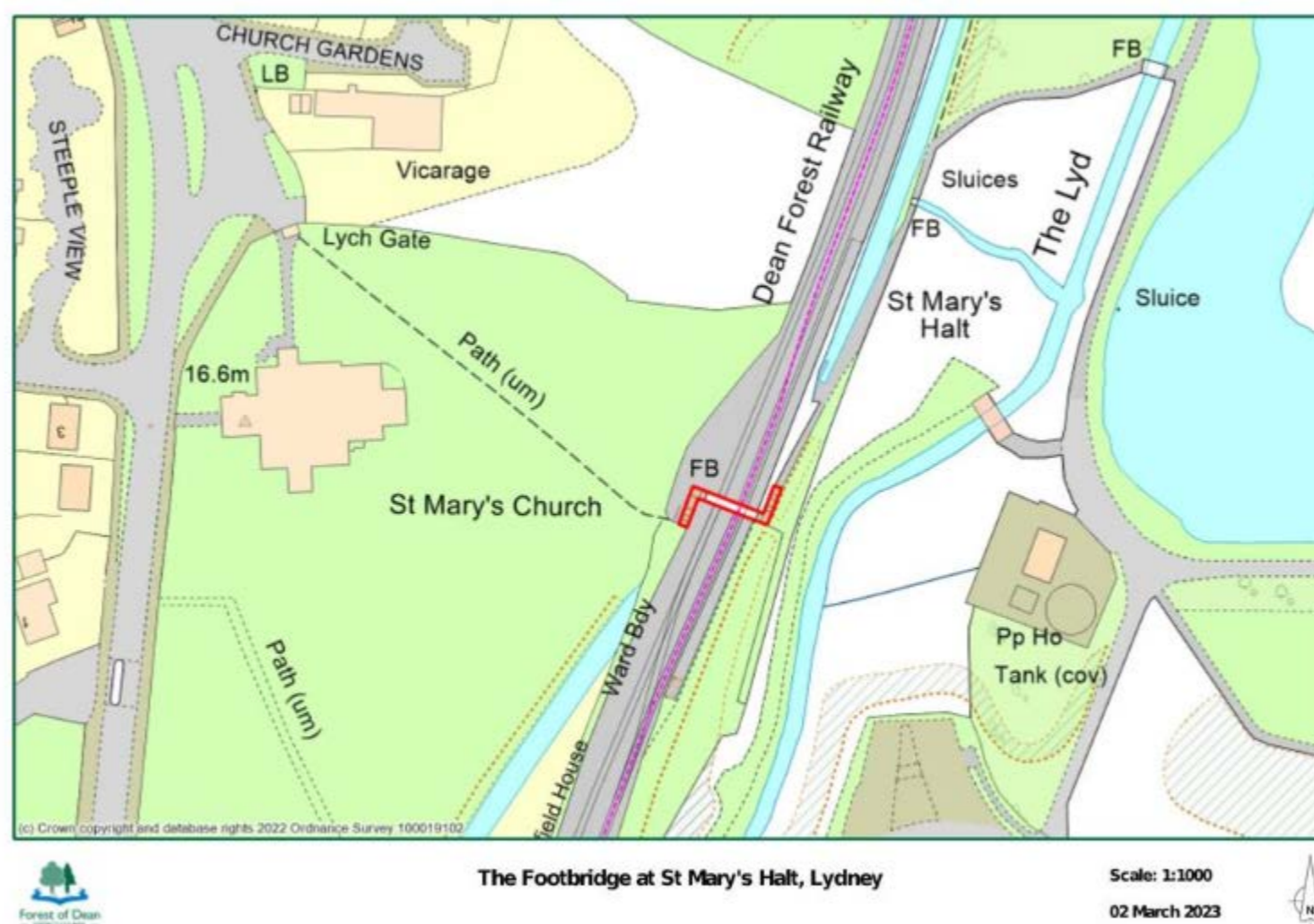
Recommendations/Actions:

Up until the property was purchased by the current owner, the chapel had not been maintained and was in a very poor condition as a result of disuse and neglect.

The owner has confirmed that he intends to carry out repairs/replacement works to make it water tight and usable and carry out total renovations within the next five years. Any urgent works will be carried out as they become necessary to stabilise the structure and prevent any further decay and loss of the original fabric. This will be subject to discussions with the FoDDC Conservation officer and application for listed building consent/planning permission/building regulations approval.

Remain on Buildings at Risk Register? YES. The building should remain of the BaR register until the renovation works are sufficiently completed.

17 . The Footbridge at St Mary's Halt, Lydney

17 The Footbridge at St Mary's Halt, Lydney**Designated:** Grade II**List entry Number:** 1186609**Parish:** Lydney**Owner contact details:** Dean Forest Railway**Location Map:**

Description: Mid 19th century, constructed in cast and wrought iron formed in a 'Z' pattern, with integral lamps. The list description remarks 'This is a very complete survival, elegant and of great economy of engineering design'.

Occupancy: n/a**Historic Photos:**

17 . The Footbridge at St Mary's Halt, Lydney



2006



2017

Photos taken in Survey 2021:



Fig. 1 Elevation of complete bridge



Fig.2 Stair and landing connecting to main span

17 . The Footbridge at St Mary's Halt, Lydney



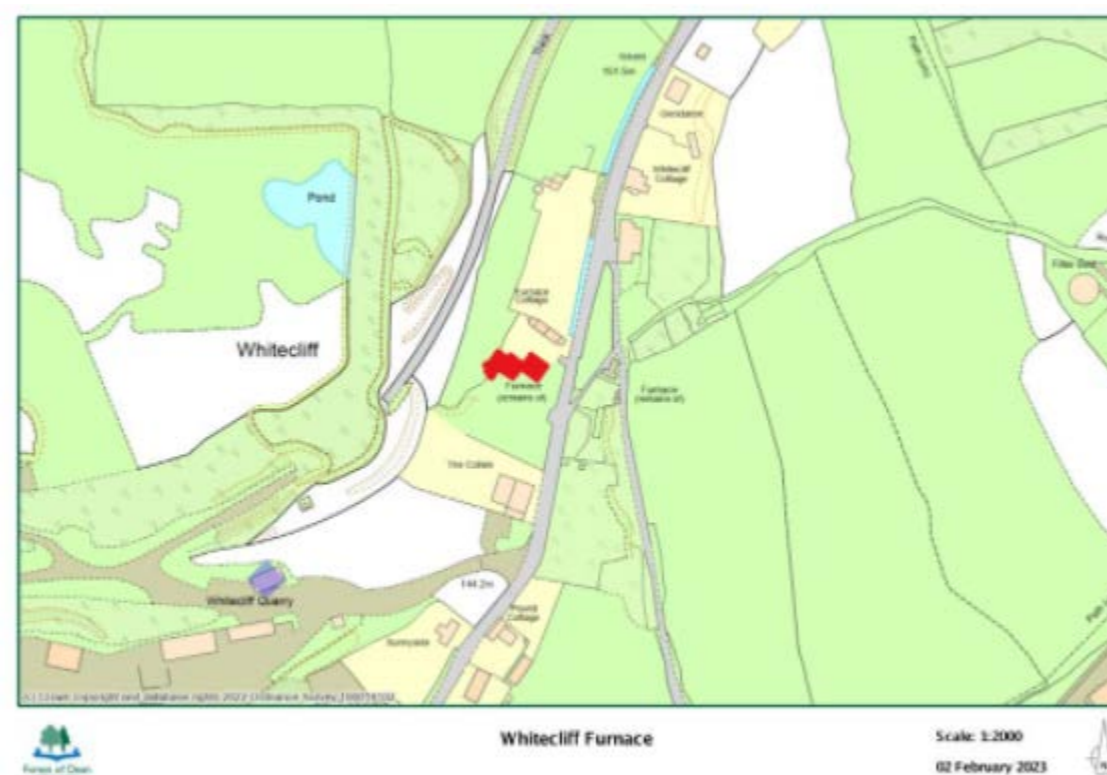
Fig. 3 Main span

Condition Appraisal: The bridge was inspected on the 5 November 2021. It is evident that sensitive repair and restoration works have been carried out and has now been completed by Dean Forest Railway, has been repainted and is well maintained.

Recommendations/Actions: The bridge has been restored to a good state of repair under the supervision of conservation experienced professionals. It is recommended that this bridge can be removed from the buildings at risk register.

Remain on Buildings at Risk Register? NO

18 . Whitecliff Furnace, Coleford

18 Whitecliff Furnace, Coleford**Designated:** Scheduled Ancient Monument**List entry Number:** 1021420**Parish:** 21697**Owner contact details:** Forest of Dean Buildings Preservation Trust (FoDBPT)**Location Map:**

Description: Whitecliff Furnace (aka. Whitecliff Iron Works). Whitecliff Iron Works survives well and many of the processes associated with the production of cast iron are readable in the remains. Whitecliff is considered to be of technological and historical importance due to its association with David Mushet, a pioneer in the development of steel. It was at Whitecliff that he conducted some of his early experiments in steel production. Additionally, the survival of the associated charging platforms, limekilns and two further furnaces provide a clear history of the development of the site and tangible evidence of the processes that took place here.

Occupancy: Derelict site with an occupied cottage. The furnace site is open to the public.

Historic Photos taken from 2017 BaR register:

18 . Whitecliff Furnace, Coleford



18 . Whitecliff Furnace, Coleford



Photos taken in Survey 2021:



18 . Whitecliff Furnace, Coleford

Fig. 1 Front and side elevation of furnace site.



Fig.2 Internal view of furnace.

Fig. 3 Furnace site.

Condition Appraisal: In March 2006 the building was reported in the buildings at risk register as risk category 4. Since then, the FoDBPT has acquired ownership of the site and has carried out repairs and consolidation work to the main furnace which was inspected on 15 October 2021 and is now in a good state of repair (Figures 1, 2 and 3). Further works are necessary to the engine house and cottage. This project is ongoing and expected to be completed within the next 5 years.

Recommendations/Actions: The building is being returned to a good state of repair under the supervision of conservation experienced professionals. However, there are always ongoing issues relating to vegetation management and the fact that some of the ancillary structures require conservation works. As such, it is recommended that this building remains on the buildings at risk register.

Remain on Buildings at Risk Register? YES.

19 . Yewtree Cottage, Flaxley, Westbury-on-Severn

19 Yewtree Cottage, Flaxley, Westbury-on-Severn

Designated: Grade II

List entry Number: 1186534

Parish: Westbury-on-Severn

Owner contact details: Private Ownership

Location Map:



Description: This is a late 17th century timber framed cottage, with wattle and daub in-fill panels.

Occupancy: Private domestic residence.

Historic Photos:

19 . Yewtree Cottage, Flaxley, Westbury-on-Severn



Photo taken in 2005. Front elevation and steel roof sheets protecting the roof.

Photos from Site Survey 2021:



Fig.1 Front elevation



Fig.2 Side elevation

19 . Yewtree Cottage, Flaxley, Westbury-on-Severn



Fig.3 Rear elevation



Fig. 4 Side elevation of modern extension



Fig. 5 Modern hard impervious renders and paints applied to external panels are trapping moisture



Fig 6. Trapped moisture is causing harmful decay of the original external timber frame

19 . Yewtree Cottage, Flaxley, Westbury-on-Severn



Fig.7 Trapped moisture is causing harmful decay of the original external timber frame



Fig.8 Trapped moisture is causing harmful decay of the original internal timber frame



Fig.9 Modern hard impervious plasters and paints applied to internal walls are trapping moisture and causing decay

Condition appraisal:

The building was inspected on 12 November 2021 with the owner present who agreed for photographs to be taken and used in the Bar Register.

The current owner has owned Yew Tree cottage since May 2021 and bought the cottage in the renovated state seen in Figures 1, 2 3 and 4. The buildings have been on the BaR Register since 2005. The owner claims research indicates renovations and a new extension were probably carried out between 2000 to 2004.

It appears that previous owner(s) have applied inappropriate modern impervious finishes to the timber panels (Figures 5 and 9), is trapping moisture and causing progressive decay and harm to the building. The timber frame is in a deteriorated condition (Figures 6, 7 and 8) and will require extensive repairs and replacement of inappropriate hard imperious finishes with vapour permeable lime.

19 . Yewtree Cottage, Flaxley, Westbury-on-Severn

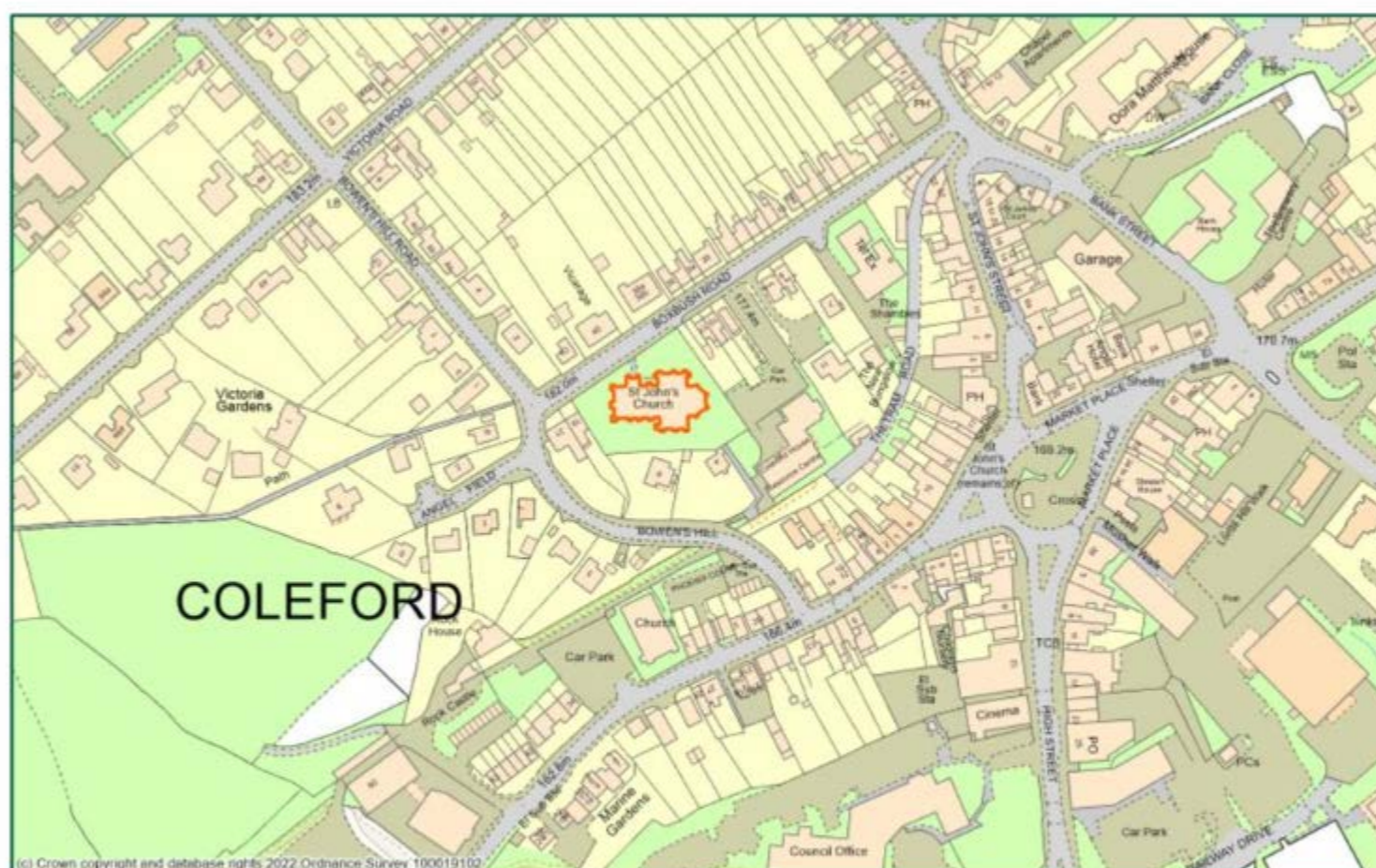
Update Autumn 2022: The owner contacted a conservation experienced specialist to establish the extent of remedial works required and has since gained Listed Building Consent to carry out the necessary repair/restoration works.

Recommendations/Actions:

Although the owner has intentions to repair and restore the building, it should be retained on the buildings at risk register and condition monitored.

Remain on Buildings At Risk Register?: YES

20 . St John's Church, Coleford

20 St John's Church, Coleford**Designated:** Grade II**List entry Number:** 1211330**Parish:** Coleford**Owner contact details:** Church of England Benefice.**Location Map:****St. John's Church, Coleford**Scale: 1:2000
08 March 2023

Description: Large parish church. 1880 F.S. Waller, and 1885 chancel and transepts S. Gambier-Parry. Rock face rubble stone brought to courses with ashlar dressings, tiled roof with double gables on both transepts. Latin cross with apsed east end. 4-bay nave with tall 2-light windows with plate tracery, buttresses between with drafted margins. Angle buttresses to transepts. Gabled porch to north west end. West end has two 3-light windows with geometrical tracery. Interior: complex steep timber strutted collar roof on stone corbels with wind bracing with elaborately decorated timber work roof over chancel. Oak reredos carved as 1914-18 War memorial by Sir Charles Nicholson. Also fine C20 oak lectern and pulpit and screen to North transept. Stained glass east window 1958 Francis Stephens. Carved stone chancel screen and stone piscina to right of reredos.

Occupancy: Unoccupied for the last three years. The Diocese's priority is to dispose of St. John's so that the building can be brought back into beneficial use.

20 . St John's Church, Coleford

Photos taken in Survey 2021:



Fig.1 Part Front Elevation



Fig.2 Part Front Elevation

20 . St John's Church, Coleford



Fig.3 Side Elevation



Fig.4 Rear Elevation



Fig.5 Side Elevation



Fig. 6 Side Elevation

20 . St John's Church, Coleford



Fig.7 Side Elevation



Fig. 8 Internal Damage



Fig.9 Internal Damage



Fig. 10 Internal Damage



Fig. 11 Internal Damage



Fig.12 Internal Damage

Condition Appraisal: The building was inspected on 15 October 2021 with three church representatives. Externally, the building has been cordoned off with security fencing and low-level windows and doors have been boarded to secure the building and prevent further vandalism (smashing of glazing). The building structure appears to be in a sound and stable condition (Figures 1 to 7). There is evidence of some minor roof tile slippage but generally roof coverings appears to be in fair condition. Roof valleys should be investigated. Rainwater goods and disposal system appears to be in fair condition but there is evidence of blocked gutters overflowing on external walls and eroding stonework. There is evidence of the ingress of water into the building, trapping water, laminating impervious plasters and eroding stonework (Figures 8 to 12).

Recommendations/Actions: This building should remain on the buildings at risk register and condition of the building monitored.

Remain on Buildings at Risk Register? YES

21 . Mortuary Building at Clearwell Church, Clearwell

21 Mortuary Building at Clearwell Church, Clearwell**Designated:** Grade II**List entry Number:** 353767**Parish:** Newland**Owner contact details:** Church of England Benefice.**Location Map:**

Description: Mortuary Chapel. 1867 by John Middleton, architect of Church of St. Peter (q.v.). Squared snecked rubble stone with Bath stone dressings, tile roof. Bellcote to north with large rose window below and elaborate carved doorway. Interior plain single cell with unplastered walls and 2 single lancets on each side. Scissor beam roof.

Occupancy: Unoccupied for 10 years, not officially closed yet and still part of the Mid-Wyedean Benefice (Church of England). The building is cordoned off from the cemetery with Heras security fencing. The Diocese's priority is to dispose of the chapel, possibly to a trust so that the building can be repaired and brought back into beneficial community use.

Photos taken in Survey 2021:

21 . Mortuary Building at Clearwell Church, Clearwell



Fig.1 Front/side elevation



Fig.2 Rear/side elevation

Condition Appraisal: The building was inspected on 15 October 2021. It is evident that the building is in a poor state of repair through a lack of maintenance over many decades (Figures 1 and 2). Externally, defective roof coverings have allowed the ingress of water into the building causing water damage internally to the lime plaster ceiling finishes and possible decay of roof timbers. Rainwater goods and disposal system is defective. Gable end and buttress coping stones are cracked and decayed. Structural cracking is evident in the front elevation rose window and stonework. Window glazing is cracked/missing in places. Front entrance door cannot shut due to defective stonework. Internally, ingress of moisture into the building is evident by defective plaster and green staining in the north west corner and central roof areas. Vegetation has penetrated the south west corner from outside due to defective roof coverings. The building is in poor condition and will require extensive repairs to make it structurally sound and weather proof. Further specialist investigations are required to remedy the cracked stonework above the entrance doorway/rose window.

Recommendations/Actions:

1. Church of England have advised they have instructed a conservation experienced contractor to carry out urgent works to preserve the building and should be completed within the next 3 months.
2. This building should remain on the buildings at risk register and condition of the building monitored.

Remain on Buildings at Risk Register? YES.

22 . Sedbury Park House, Sedbury

22 Sedbury Park House, Sedbury**Designated:** Grade II***List entry Number:** 1348351**Parish:** Tidenham**Owner contact details:** Currently unknown**Location Map:**

Description: Large country house, now school. C19. Limestone ashlar to balustrade parapets, low pitched hipped Welsh slate roof, and stacks with heavy Victorian cappings flanking the central hall. A large compact block with projecting porch to south, colonnade with unfluted Doric columns runs full width south front and full width of return front to west; at back a second low block set at right-angles is connected to the main building by a glazed quadrant passageway. Three storeys, 3-windowed symmetrical front with full-height central projection over ante-room: at second floor small 6-pane sashes, the centre unit and returns on projection in moulded architraves, at first floor 12-pane sashes in moulded architraves, and tripartite central sash with pilasters and cornice, and at ground floor 2 full depth part glass sashes, central pair doors, bottom panel fielded, upper glazed. At doorway is a porte-cochere, with 2 columns in antis and with responds. The large extension to right not included. West front three storeys, 1:3:1-windowed, similar to main front, but the single windows in slightly projecting flat bays. North front has had flat-roofed extension added, right; at second floor are sections of blank balustrade in recesses 12-pane sash at first floor but centre section modified, and at ground floor left a 3-light plate glass sash under flat segmental head and with stone pilasters, centrally a similar window but with flat architrave. Also here to left a Victorian glazed quadrant passage connecting to a single storey ashlar block including a tripartite plate-glass sash with stone pilasters. Interior: a fine central hall with open well staircase in stone, with heavy fluted newels, decorative wrought iron handrail, and panelled soffit with egg and dart mould, a first floor gallery with three arched openings and wood balustrade, and an upper balustrade modified with part glazing. Floor in black and white marble, conical roof-light in deep compartmented ceiling. Panelled walls, doors and shutters. At ground floor a large elliptical opening opposite the entrance door, some door heads with broken 'baroque' pediments. Many good doorcases, pilasters, cornices, and panelling generally.

Occupancy: Unoccupied. The building has had several previous uses, the last one being a care home.

22 . Sedbury Park House, Sedbury

Photos taken in Survey 2021:



Fig. 1 Entrance gates locked but easily accessible



Fig. 2 Front elevation



Fig.3 Front porch - cracking evident in stonework



Fig. 4 Front porch - corrosion of exposed steel beam supports

22 . Sedbury Park House, Sedbury



Fig. 5 Front colonnade - cracking evident in stonework



Fig. 6 Side of colonnade - cracking evident in stonework



Fig. 7 Part side elevation



Fig. 8 Part side elevation

22 . Sedbury Park House, Sedbury



Fig. 9 Part rear elevation



Fig. 10 Rear elevation - cracking evident in stonework



Fig. 11 Defective timber windows



Fig. 12 Defective timber windows

22 . Sedbury Park House, Sedbury



Fig. 13 Defective timber windows



Fig. 14 Corrosion of steel work is cracking masonry walls



Fig. 15 Corrosion of steel work is cracking masonry walls



Fig. 16 Side elevation

22 . Sedbury Park House, Sedbury



Fig. 17 Vegetation growing in wall - side elevation



Fig. 18 Cracking evident in stonework

Condition Appraisal:**External**

The building appears to have been unoccupied for some time. It is apparent there has been no maintenance carried out to the building for decades, it is in a state of severe disrepair and at extreme risk of further deterioration (Figures 1 to 18). Structural cracking evident in external walls appears to be progressive. Urgent action is required to provide temporary support to prevent potential collapse of the front porch (Figures 3 and 4 and colonnade (Figures 5 and 6). The roof level was not accessible and the roof condition could not be assessed. Although there is a security notice at the main gate the property can be easily accessed and there is a real threat of vandalism/arson.

Internal

Internally the building was not accessible and condition could not be assessed.

Recommendations/Actions:

Urgent action is required as follows;

1. A legal search should be carried out to establish the legal owner of the building
2. Action plan should be drawn up and implemented with enforcement action if necessary to safeguard the building. This should also include review of the security to prevent unauthorised access, vandalism and a real threat of arson.
3. Urgent action is required to stabilise the front porch and colonnade.
4. Internal access of the building and roof is required to assess the condition of the building
5. Long term Conservation Management Plan should be drawn up and implemented

22 . Sedbury Park House, Sedbury

6. This building should remain on the buildings at risk register and condition of the building monitored.

Remain on Buildings at Risk Register? YES.

23 . Lydney Docks and Swing Bridge over Naas Harbour, Lydney

23 Lydney Docks and Swing Bridge over Naas Harbour, Lydney

Designated: Lydney Harbour is a Scheduled Ancient Monument and the Swing Bridge is Grade II

List Entry Number: Swing Bridge - 1338556, Lydney Harbour - 1002079

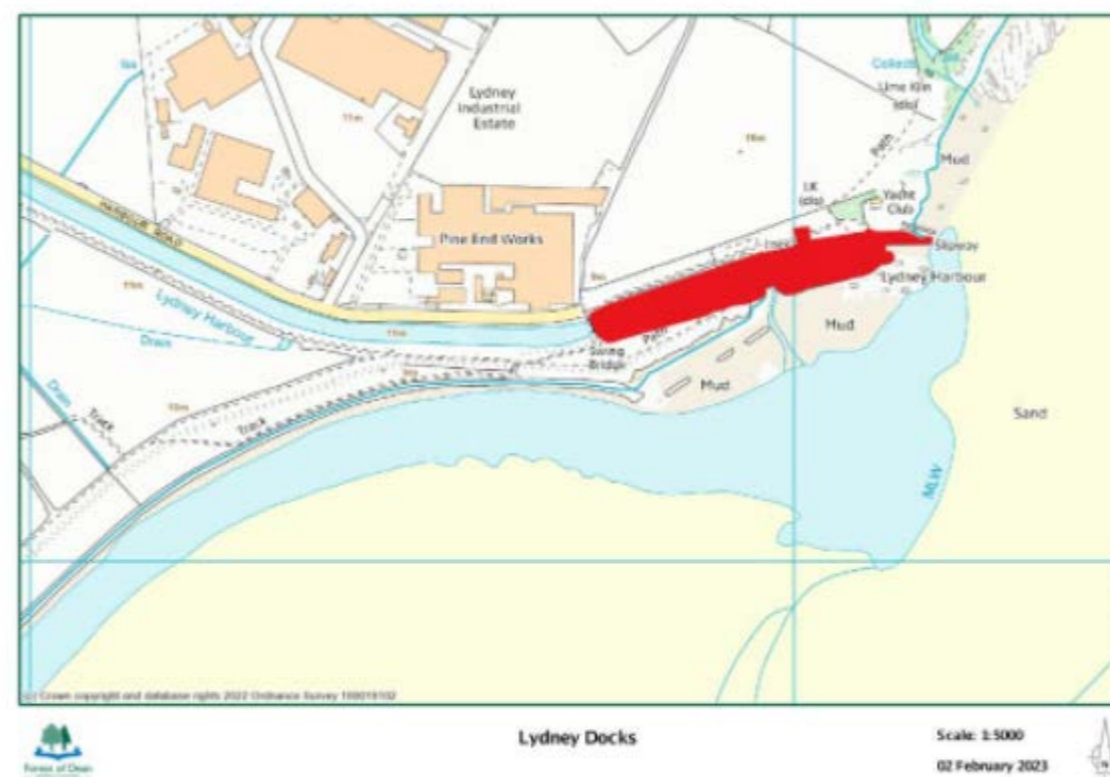
Parish: Lydney

Owner contact details: Environment Agency, Riversmeet House, Newtown Industrial Estate, Northway Lane, Tewkesbury, Gloucestershire. GL20 8JG.

Description: Lydney was Bullo Pill's main rival as port to the Forest of Dean. The ancient harbour at Lydney was adversely affected by changes in the course of the River Severn and eventually the Lydney and Lydbrook Tramway cut a new canal to the river in 1813. A tidal basin was added in 1821 and this with the lower section of the canal, almost a mile in length, comprises the present harbour. Apart from the locks, which are still in use, there are the masonry foundations of coal shutes on the southern bank, a hand operated swing bridge and harbour and shipyard offices.

Occupancy: Working harbour and visitor attraction.

Location Map:



Photos taken in Survey 2021:

23 . Lydney Docks and Swing Bridge over Naas Harbour, Lydney



Fig.1 North and south pier and lock gate require repair. Harbourmasters building (on left) has been restored.



Fig.2 Lock gate and tidal exclusion gate require repair.



Fig.3 Swing Bridge requires repairs to operate again.



Fig.4 Defective stonework to sluice outfall requires repair.

23 . Lydney Docks and Swing Bridge over Naas Harbour, Lydney



Fig.5 Moorings require restoration.



Fig.6 Railway coal chute to load boats requires repair.



Fig.7 Generator shed and wages office requires repair.



Fig.8 Restored buildings used as an accessible toilet and visitor centre with pop up café. New fencing in progress seen in foreground.

Condition Appraisal: The Environment Agency have recently undertaken a survey of Lydney Harbour and are in the process of developing a programme of repair and restoration works. They have secured capital funds to undertake repairs to the outer sea gates, bypass sluice, survey lock gates and smaller scale ancillary works alongside a number of actions to prevent further deterioration (Figures 1 to 7). Works have already commenced to erect safety fencing to part of the harbour wall, restore the mortuary building as an accessible disabled toilet and store building as a visitor building and a pop-up café with sewage treatment system as a joint initiative with Forest of Dean District Council (Figure 8). The aim is to deliver this by 31st March 2022, dependent on weather conditions, contractor availability, etc.

23 . Lydney Docks and Swing Bridge over Naas Harbour, Lydney

A business case is currently being developed to secure further funds for major works of repair to the north and south pier, inner and outer basin, various built structures, new mooring docks, etc. over the next three years including the restoration works already in progress. They are working closely with Historic England as the asset is currently considered at risk.

Recommendations/Actions: The Environment Agency is preparing a Conservation Management Plan to repair and restore the Scheduled Ancient Monument into a working harbour and visiting attraction in consultation with Historic England over the next three years.

Remain on Buildings at Risk Register? YES. The monument should be retained on the Buildings at Risk Register and monitored.

24 . Crump Farm, Lydney

24 Crump Farm, Lydney**Designated:** Grade II**List entry Number:** 1392842**Parish:** Lydney**Owner contact details:** Private Ownership**Location Map:**

Description: This C18 farmhouse and barn remain largely unaltered since the late C18 * The farmhouse demonstrates some architectural pretension, and retains a large proportion of internal fabric from the C18 * A cheese room, dairy and undercroft all survive unconverted * The kitchen wing may be a survival of an earlier house on the site, perhaps dating from circa 1600 * The adjacent threshing barn dates from at least the C18 but may be associated with the earlier phase of building on the site * The two buildings have additional value as a functionally-related group.

Occupancy: Currently unoccupied.

Photos taken in Survey 2021:

24 . Crump Farm, Lydney

Farmhouse



Fig.1 Front Elevation



Fig. 2 Side Elevation



Fig. 3 Rear Elevation



Fig.4 Side Elevation



Fig.5 Internal View - Stairwell



Fig. 6 Internal View - Upper Floor Repair/Replacement



Fig.7 Internal View - Roof Repair/Replacement

Threshing Barn

24 . Crump Farm, Lydney



Fig.8 Front and Side Elevation



Fig. 9 Side Elevation



Fig.10 Rear and Side Elevation



Fig.11 Internal View - Roof and Walls



Fig. 12 Internal View - Roof and Walls



Fig.13 Internal View - Collapsed Tie Beam of Roof Truss

Condition Appraisal:

The current owner has owned the property since 2018. The buildings were inspected on 29 October and 2 November 2021. The owner was on site during the inspection and gave permission for photographs to be taken for the BaR register.

Farm House - A fire in 2015 caused extensive fire damage to the building fabric and extensive works were carried out by the previous owner without listed building consent/planning permission and was subject to enforcement action by the FoDDC.

The current owner is carrying out extensive repair and restoration works both externally and internally (Figures 1 to 7) including:

- New roof coverings, roof windows, lead flashings and rain water goods
- Roof structure (some original roof structure remains) and chimney repairs
- Lime re-pointing
- Replacement timber windows (owner claims originals are in the basement)
- Internal works

Threshing Barn

The current owner claims a fire in 2015 caused extensive fire damage to the building fabric and is evident from the charring on the modern block built lean too on the front elevation. It is apparent there has been no maintenance carried out to the building for decades, it is in a state of severe disrepair and at extreme risk of further deterioration (Figures 8, 9 and 10). The current owner has commenced erecting scaffold to carry out urgent repair works. The current owner also claims that temporary Herras fencing evident on the site has been erected in the past to keep out trespassers but is constantly being knocked down and vandalised.

80% of the main roof (nearest the road to a point past the central opening) was destroyed in the fire and there are no remains. The remaining pitched roof has slate coverings fixed onto timber battens. The slate coverings and ridge tiles are in poor condition, large areas of slate are missing, slipped slates are hanging off the roof and allowing the ingress of water into the building.

24 . Crump Farm, Lydney

The roof structure consists of three principal trusses, with two purlins each side supporting rafters- all appears to be in hardwood (probably oak). Extensive vegetation growth is evident and roof structure appears to be in a deteriorated and unstable condition. Timber wall plates have eroded away and rafters remain unsupported on the front elevation. The central roof truss tie beam has partially collapsed onto steel tubing (Figures 11, 12 and 13) and further collapse of the roof is imminent unless urgent action is taken to support the roof and make it water tight. The rear lean too roof has corrugated steel sheets on timber rafters, is in poor condition and has partially collapsed into the building.

Stone walls to the main building appear stable but loose stonework is evident at roof and eaves level. The rear lean too building stonework is poor and has partially collapsed.

Recommendations/Actions:

Farm House - Although the owner appears to be carrying out sensitive repair/restoration work to the building, there are some legal issues to resolve such as listed building consents and building regulations applications that have not been applied for. I have discussed this with the owner and he claims the following:

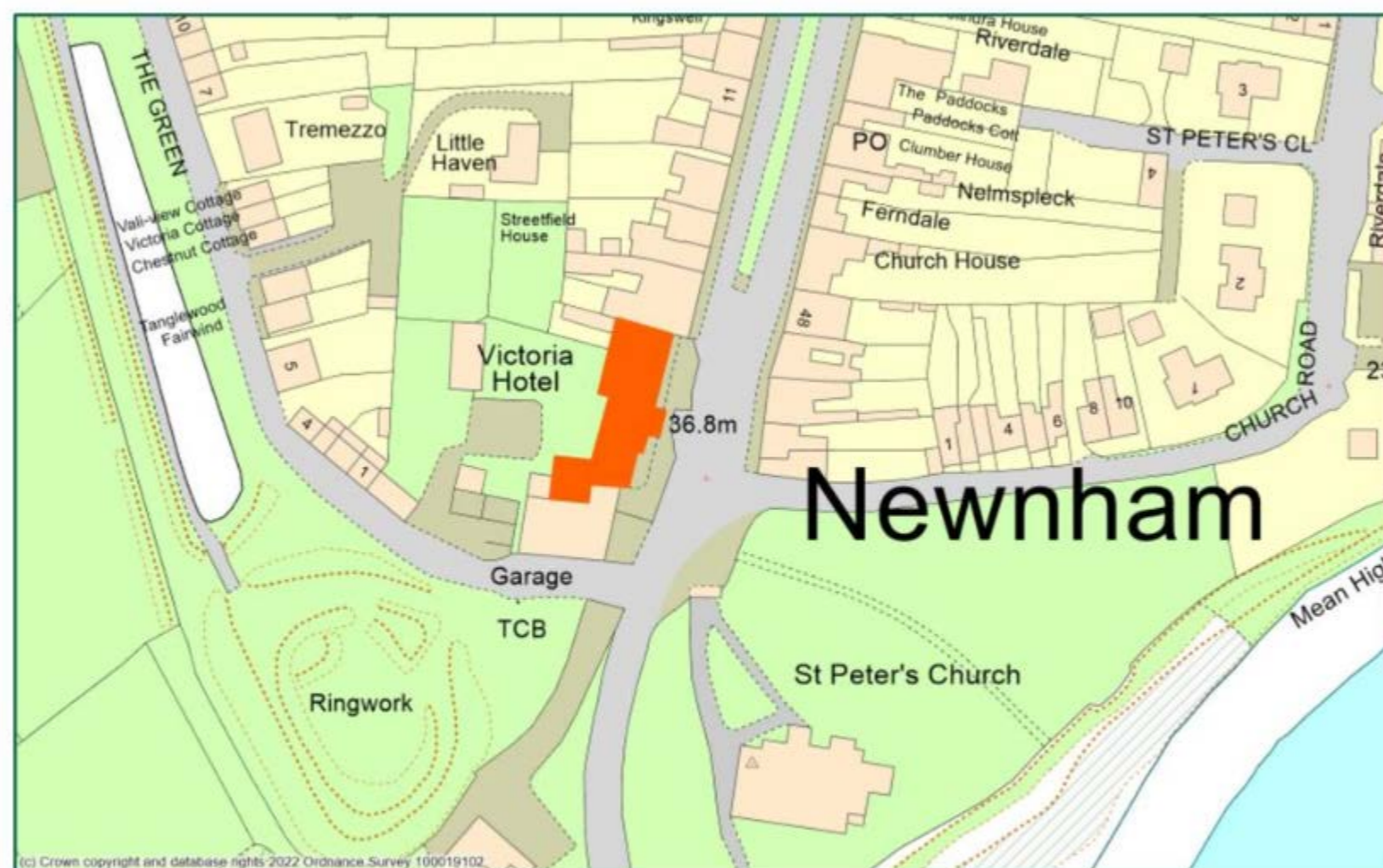
1. Works to the roof has listed building consent and planning permission (seems to be P1700/19/LBC). Note: I have made the owner aware that the other works will require listed building consent and he has advised that he intends with immediate effect to contact a conservation experienced architect/ surveyor to represent him and make any necessary applications. I have made him aware that planning enforcement may take action against him.
2. He is also going to make an immediate building regulations application to regularise the works already carried out and for that which is proposed.

Threshing Barn - The building is in a poor and deteriorated condition and at extreme risk of further deterioration and collapse. The building is potentially dangerous and following works should be carried out:

1. Council Conservation officer should be made aware of the deteriorated condition of the building and necessary urgent actions taken to prevent further loss of historic fabric. It is recommended the following actions are taken:
 - With immediate effect the building should be cordoned off with security fencing (Herras type) with danger keep out signs fixed to each elevation.
 - With immediate effect the roof should be supported with temporary propping to stabilise the structure and prevent further collapse
 - Loose slates should be carefully removed and stored on site for re-use
 - The roof should have a temporary water proof covering to prevent the ingress of water into the building to prevent further deterioration and loss of historic fabric.
 - Plan of action should be agreed with the owner who wishes to convert the building into residential use within the next five years.

Remain on Buildings at Risk Register? YES

25 . The Victoria Hotel, Newnham

25 The Victoria Hotel, Newnham**Designated:** Grade II**List entry Number:** 1186409**Parish:** Newnham**Owner contact details:** Private Ownership**Location map:**

The Victoria Hotel, Newnham

Scale: 1:1000
20 July 2022

Description: Hotel, formerly Coaching Inn. Early C18. Central section rendered, wings painted brick, crude moulded cornice over stone fascia, black and white painted and modelled quoins centrally, painted quoins on brickwork sections; Welsh slate roof. Long narrow structure in four units, in part parallel range; three gables and pilastered unit to rear. Two storeys; street front complex: central unit paired sashes in heavy stone surrounds, topped steep pediments, three paired sashes above, all these without bars; unit left four sashes above one casement and one late triple sash; right unit one sash then further two sash, all these with glazing bars. Deep flat-topped, four-columned 'doric' portico, good moulded bases but crude caps, architrave and moulded cornice; responds to wall, modern doors: this added c.1840.

25 . The Victoria Hotel, Newnham

At back, left, major unit, rendered, has paired pilasters to centre bay, single pilasters at flanks, containing three-window aedicules at principal level, sashes with glazing bars plus one new door, right; above these three square sunk blank panels; paired sashes with bars in double-gabled feature, right, and round-headed stair window, centre. Interior has oak dog-leg stair with returned landing and curved well, early C18 or late C17; three turned balusters per tread, handrail wreathed at foot and over 'Serlian' pillars. Low, wide elliptical opening in entrance hall with plain tuscan responds. Head of stair pair of fluted doric pilasters, elliptical arch (left) and fine dentilled cornice. Landing, window with panel surrounds and dado; one panel of painted glass, dated 1622, incorporated in window. Room with C18 painted panelling over entrance; various chamfered and stopped beams, many panelled doors.

Background:

2017- the Hotel was identified as a potential building at risk to be included in the next BaR register, hence why it has been surveyed at this time.

The current owner has had the Victoria Hotel for the past 25 years and has been unoccupied for the same period of time. The owner claims to have carried out holding repairs within the past few years to make the building weathertight.

The owner has plans within the next 5 years to:

- (i) Demolish the attached modern commercial garage to the left of the hotel
- (ii) Apply for enabling development to convert the rear courtyard into a mews type development
- (iii) Use funds from enabling development to fund repairs and conservation of the building and convert the hotel into two separate dwellings.

All subject to the necessary listed building consent/planning permission etc.

Occupancy: Derelict building (secured to prevent public access).

Photos taken in Survey 2021:



25 . The Victoria Hotel, Newnham

Fig.1 Front elevation.



Fig.3 Inappropriate impervious render/paint applied to ornated external stonework has caused decay of the permeable stone below.

Fig.2 Part rear elevation.



Fig. 4 Roof leaks have caused decay, collapsed and loss of the historic structure below in multiple areas over 3 floors.

25 . The Victoria Hotel, Newnham



Fig. 5 Roof leaks have caused decay, collapsed and loss of the historic structure below in multiple areas over 3 floors.



Fig. 6 Roof leaks have caused decay, collapsed and loss of the historic structure below in multiple areas over 3 floors.



25 . The Victoria Hotel, Newnham

Fig. 7 Roof leaks have caused decay, collapsed and loss of the historic structure below in multiple areas over 3 floors.



Fig. 9 Roof leaks have caused decay, collapsed and loss of the historic structure below in multiple areas over 3 floors.

Fig.8 Roof leaks have caused decay, collapsed and loss of the historic structure below in multiple areas over 3 floors.



Fig. 10 Roof leaks have caused decay, collapsed and loss of the historic structure below in multiple areas over 3 floors.

Condition Appraisal:

The building was formally a three-storey hotel with a basement and has been delict for the past 25 years.

A visual inspection of those areas accessible for inspection was carried out on 10th March 2022 and the photographs taken (Figures 1-10).

The building construction consists of traditional roof trusses supporting purlins and rafters, with natural slate coverings and rainwater goods that are in poor condition. The lack of basic maintenance over many decades has caused roof coverings to become defective and has allowed the ingress of water into the building. Internally, this ingress of water has caused the decay, collapsed and loss of the historic structure in multiple locations within the building as seen in figures 4 to 10. This has caused partial collapse of the building in certain areas which have been cordoned off. The Forest of Dean DC Building Control section has also deemed the building unsafe and has registered it as a potentially dangerous structure.

The original external solid brick/stone walls have an impervious hard cement/sand render that has replaced an original lime render. This has been coated with an impervious paint and is trapping water and causing deterioration of the wall finishes both internally and externally (Figure 3). The walls are in poor condition.

Upper floors are of timber joists with boarding and lath and plaster ceilings. The upper floors are in poor condition.

The ground floors are a mixture of flag stones and timber joists and in poor condition.

The basement is used mainly for storage of services and in poor condition.

25 . The Victoria Hotel, Newnham

Windows are predominantly timber sliding sash and timber doors/frames and in poor condition.

Although the building owner claims to have carried out recent roofing repairs to prevent the ingress of water into the building and prevent further decay and loss of the important building fabric, this has compounded the problem of decay and has caused an extensive outbreak of fungal growth which could be potentially dry rot evident in part of the ground floor rooms of the building.

This moisture saturated in the building fabric together with the lack of air movement and ventilation within the building has led to high humidity and perfect conditions for dry rot. This fungal growth is well established and should be inspected by a conservation specialist to confirm the type of rot and its eradication. If left untreated, dry rot will spread throughout the building, into all the timbers and plaster - its eradication would lead to extensive loss of the remaining historic building fabric.

Recommendations/Actions: The building is in a poor and deteriorated condition and at extreme risk of further deterioration and collapse. The building is potentially dangerous and following works should be carried out with immediate effect:

1. Council Conservation officer should be made aware of the deteriorated condition of the building and necessary urgent actions taken to prevent further loss of historic fabric. It is recommended the following actions are taken:
 - Owner should arrange for a conservation specialist to inspect and confirm type of rot within the building and necessary remedial works and time scales to implement (subject to council approvals).
 - Plan of action should be agreed with the owner to repair and conserve the building, including plans to convert the building into residential use.

Remain on Buildings at Risk Register? YES

26 . Yorkley Court Farm, Yorkley

26 Yorkley Court Farm, Yorkley**Designated:** Grade II**List entry Number:** 1299228**Parish:** West Dean**Owner:** Private Ownership**Location Map:**

Yorkley Court Farm, Yorkley

Scale: 1:5000

14 February 2023



Description: Farmhouse. Main range. Early C18 with late C17 range to left. Rendered rubblestone, slate roof, 2 end stacks on main range and one ridge stack on lower range to left. 3 storeys, 4 windows, wood mullions and transoms, with twin casements on top floor. Gabled porch over door in bay 2. Range to left is part domestic, part agricultural with raised doorway over through opening on far left which may have been for a granary (similar door to rear retains steps up).

Occupancy: Unknown**Historic Photos:**

26 . Yorkley Court Farm, Yorkley



Farmhouse in 2005 (photo taken from <https://historicengland.org.uk/listing/the-list/list-entry/1299228>)

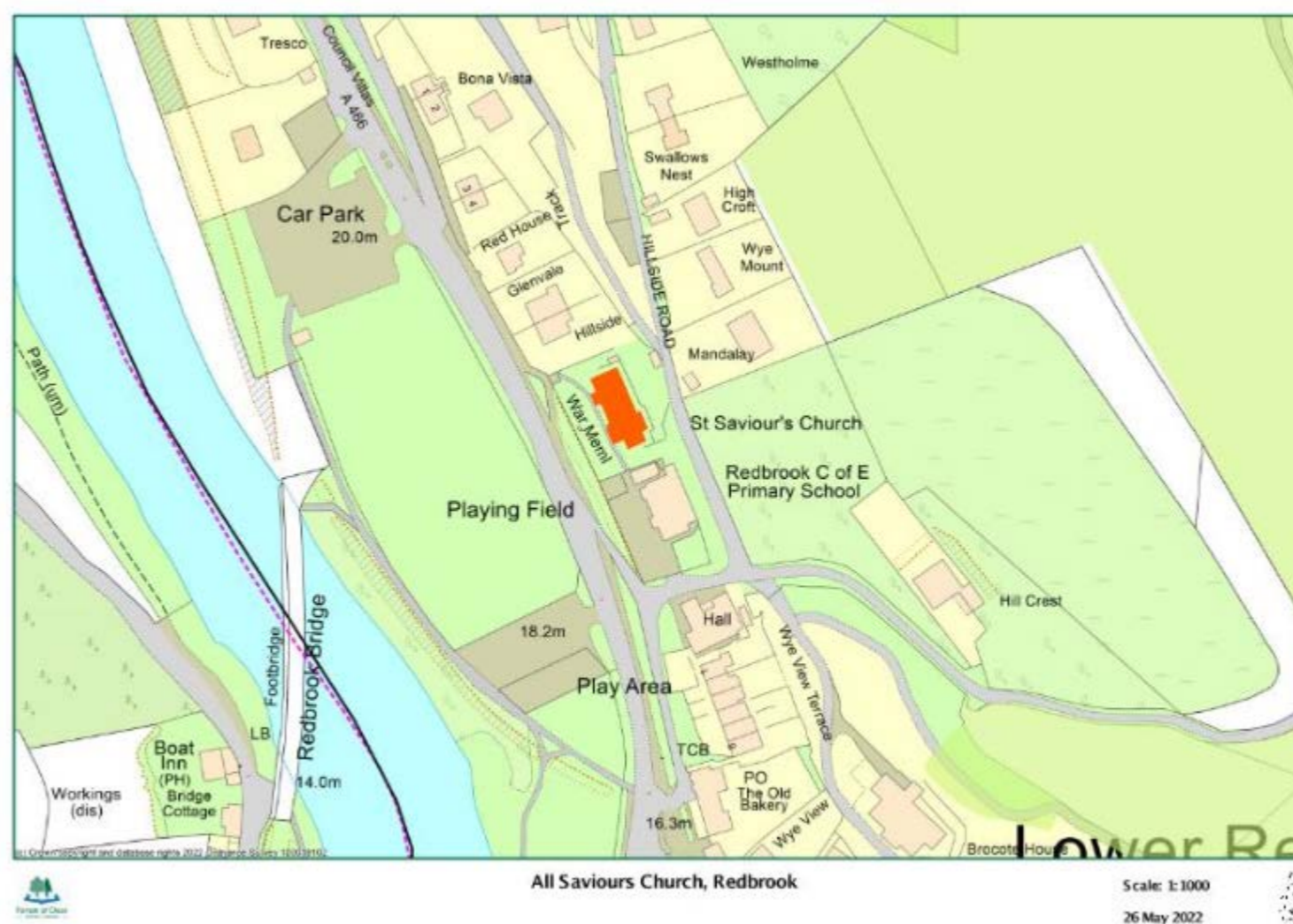
Condition Appraisal: The building was inspected on 1st January 2022 and the front entrance gates are locked shut. The building has a long drive and the building is not visible from the road. Two attempts have been made to contact the owner by letter without success and the agent has been contacted by mobile phone on a number of occasions but no firm access was arranged. The site was inspected again on 9th December 2022 and the gates were still locked. Therefore no external or internal inspection has been successfully made and therefore priority should be made to gain access to the building.

Recommendations/Actions:

1. Formal action should be taken to gain access of the building for inspection.
2. The building should remain of the BaR register.

Remain on Buildings at Risk Register? YES

27 . All Saviours Church, Redbrook

27 All Saviours Church, Redbrook**Designated:** Grade II**List entry Number:** 1212814**Parish:** Newland**Owner contact details:** Church of England Benefice.**Location Map:**

Description: Church. 1873 by J. P. Seddon. Squared rock face rubble stone with limestone dressings, tile roof with coped gables and cross finials. 4 bay nave, gabled south porch, north and south transepts, latter with inset octagonal 4 stage tower with pointed belfry window on each face and spire with lucarnes above. Chancel of 2 bays with 3-light trefoil-head window with rose above, and large shallow pointed arches on each side now partially blocked. West end has low angle buttresses and 2 paired lancet windows with large separate rose window above. Simple paired lancets to nave, coupled to east of south porch with vestigial rerearches. Roof is boarded with cusped trusses forming large trefoils, supported on corbels. In course of restoration at time of survey (June 1984) and interior very disorderly, some original pews may remain.

Occupancy: Place of worship and community use.

27 . All Saviours Church, Redbrook

Photos taken in Survey 2021:



Fig.1 Front Elevation



Fig.2 Front Elevation



Fig. 4 Rear Elevation

27 . All Saviours Church, Redbrook

Fig 3. Side Elevation



Fig. 5 Rear Elevation



Fig. 6 Side Elevation



Fig.7 Internal View of Church



Fig.8 Internal View of Church

Condition Appraisal: The building was inspected on 15 October 2021 with a Church of England representative who advised there is currently a scheme of repairs and improvements in progress which is being overseen by a conservation experienced architect and has been approved by the Diocese. This programme of repairs and improvements is over a 5-year period and includes the following works:

- Defective roof coverings have been replaced by a conservation experienced contractor and the building is now weather tight and in good condition (Figures 1 to 6).

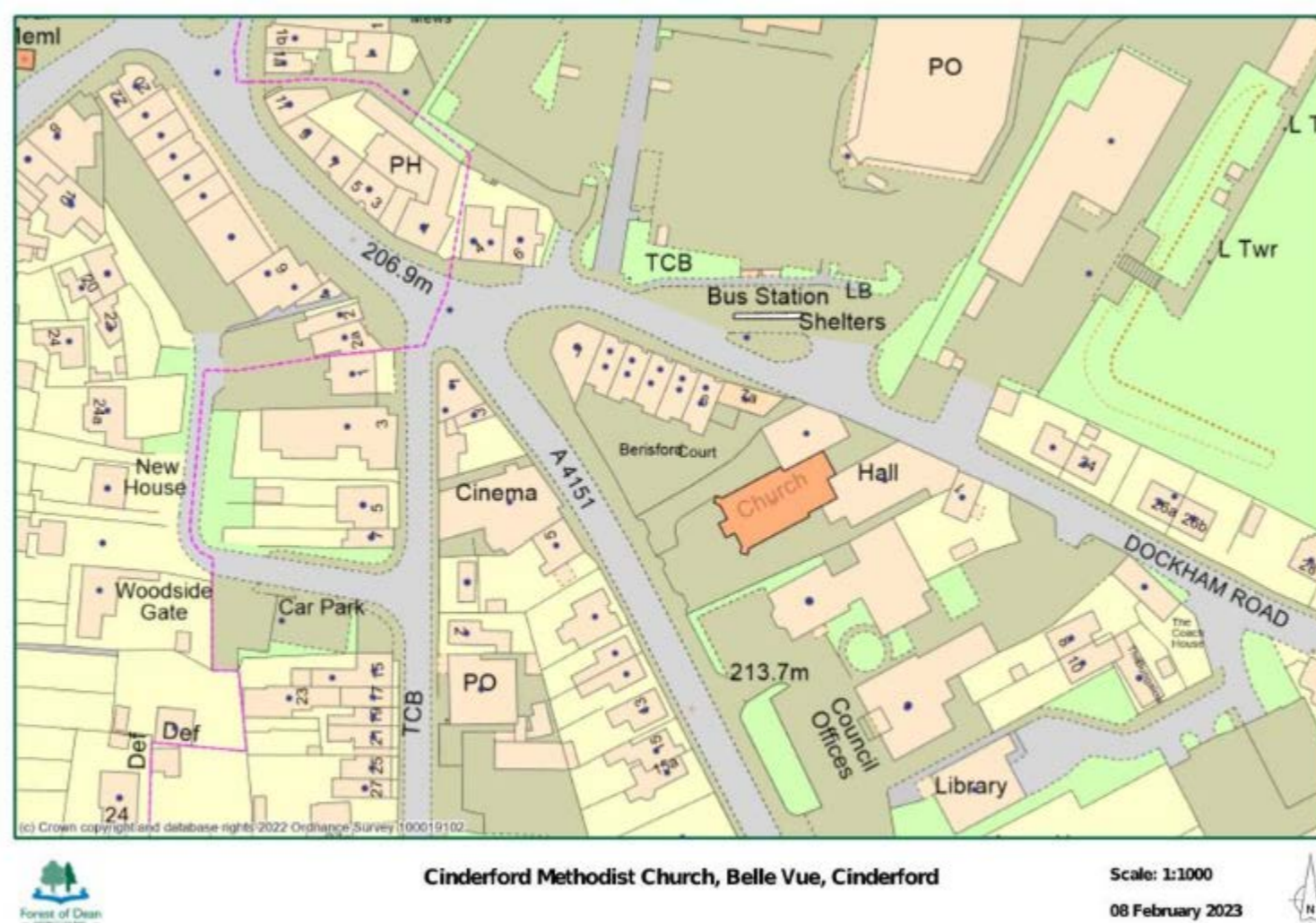
27 . All Saviours Church, Redbrook

- Defective and eroded stonework is being replaced to match the existing by a conservation experienced contractor (not yet commenced).
- Defective mortar is being replaced in lime mortar to match the existing and engages the community and is being overseen by a conservation experienced contractor (Figures 2, 3 and 5).
- New accessible WC and kitchen is in progress including improvements to the access.

Recommendations/Actions: The building is being returned to a good state of repair externally and internally under the supervision of conservation experienced professionals. However, additional work is still required to ensure that the building is no longer at risk, and it is therefore recommended that this building shall be included on the buildings at risk register.

Remain on Buildings at Risk Register? YES, as additional work is still required.

28 . The Wesley (formally Cinderford Methodist Church), Belle Vue, Cinderford

28 The Wesley (formally Cinderford Methodist Church), Belle Vue, Cinderford**Designated:** Grade II**List Entry Number:** 1299201**Parish:** Cinderford**Owner:** The building has been purchased by Cinderford Town Council (March 2023) who have renamed it The Wesley.**Location Map:**

Description: Methodist Church, 1849 (datestone): front ashlar, sides squared coursed masonry with ashlar dressings, slate roof. Large hall. Gable to road, plain plinth, small octagonal corner turrets rising to pinnacles above eaves level, one with foliate top surviving. Between a large, single gable with copings, and a duplicate moulding below following slope; foliate cross to ridge. The central porch has small corner buttresses, a gable with cross gablets to foot of coping; pointed moulded doorway with three nook shafts each side, and date plaque over. 3-light lower windows each side, 5-light above, all with Decorated tracery, sides have 2- light windows between buttresses, with ballflower carving in projecting eaves. Window in back wall reset in 1905 in church hall adjoining. Internally a lobby beneath a west gallery, supported on cast iron pillars. False hammer-beam roof trusses with pendentives. Small piece of glass over porch shows C. Wesley, apparently dates from 1849: rest of coloured glass later. Built as Wesley Methodist Chapel, later closed, reopened 1881 after renovation. Church hall and Sunday School not included.

28 . The Wesley (formally Cinderford Methodist Church), Belle Vue, Cinderford

Occupancy: Currently used for community use (Forest of Dean Community and Arts Centre).

Survey Photos:



Fig.1 Front elevation



Fig. 2 Stonework to front door rebuilt



Fig. 3 Front and side elevation



Fig. 4 Front and side elevation

28 . The Wesley (formally Cinderford Methodist Church), Belle Vue, Cinderford



Fig. 5 Side elevation



Fig. 6 Side and roof elevation



Fig. 7 Side elevation and school house in background

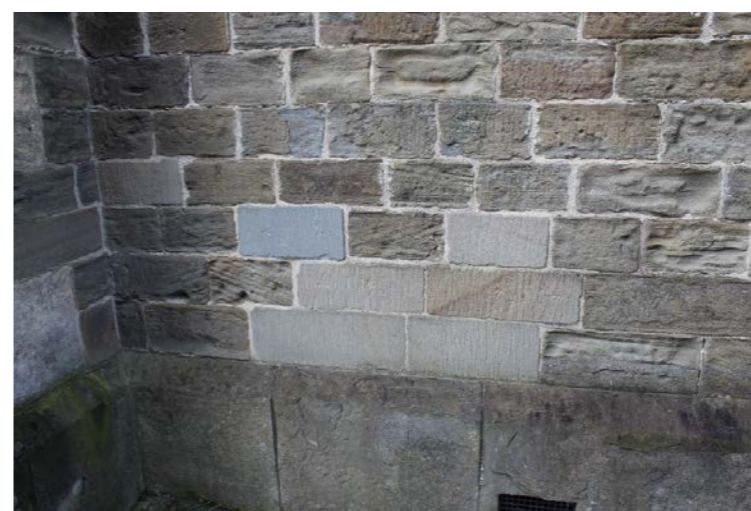


Fig. 8 Replacement of defective stonework

Condition Appraisal:

2021- A visual inspection of was carried out on 26th November 2021 and photographs were taken as seen in figures 1 to 8 below with permission from the person responsible for the building at that time.

The church has under gone major conservation and renovation over the past 22 years. In 2000, the stone arch to the main doorway was rebuilt in new stone to match the original which had deteriorated and could not be saved (Figures 1 and 2). In 2014, the roof coverings were replaced using original sound slates where possible, new lead flashings, breathable roof membrane/insulation (Figures 1 to 7).. This also included renovation of the walls with replacement of individual ashlar which were defective (Figure 8) and replacement of defective ground floors.

28 . The Wesley (formally Cinderford Methodist Church), Belle Vue, Cinderford

From a visual inspection of those areas accessible for inspection in the building, it appears the church is now in a good state of repair and maintenance and is being used for worship and successfully as a community building. The associated Church Hall and Sunday school does not form part of the listing and is not covered here, but they are in poor condition. It is understood that that the Town Council is taking responsibility for these buildings and are committed to their renovation in the near future.

Update 2023: Cinderford Town Council purchased the building in March 2023 from the Church and have made urgent repairs and renamed the building to The Wesley. It is now under the long term protection of the Cinderford Town Council so that it can be used as a Community and Arts Centre for the foreseeable future.

Recommendations/Actions: The former Church (The Wesley) is in a good state of repair and can be removed from the buildings at risk register.

Remain on Buildings at Risk Register? NO.

29 . 10-14 Newland Street, Coleford

29 10-14 Newland Street, Coleford**Designated:** Grade II**List entry Number:** 1186309**Parish:** Coleford**Owner contact details:** Private ownership**Location Map:**

10-14 Newland Street, Coleford

Scale: 1:1000

23 March 2023



Description: House, now with shop on ground floor. Late C18. Pebbledash, parapet wall. Slate roof, stacks not visible. 3 storeys. 4 windows, glazing bar sashes, ground floor window to left now with C20 sash. Door to extreme left (formerly to No 12) now blocked and pebbledashed over. Shop front on right with central panelled and half glazed door and flanking plate glass windows between 4 thin iron columns with decorated capitals. Modillion cornice across shopfront under projecting flat cornice. Included for group value with Nos 6 and 8 Newland Street (q.v.).

Occupancy: Unoccupied and is currently for sale.

Survey Photos:

29 . 10-14 Newland Street, Coleford



Fig.1 Front elevation



Fig. 2 Timber shop front - in poor condition



Fig. 3 Front left ground floor timber window frame - in poor condition



Fig. 4 Side elevation - detached curtilage garage in foreground - is in poor condition

29 . 10-14 Newland Street, Coleford



Fig. 5 Front and side elevation of detached curtilage listed garage - is in poor condition and roof has partially collapsed



Fig. 6 Rear elevation - deep cracking is evident in external walls and is generally in poor condition



Fig. 7 Curtilage listed printing works and various 20th century outbuildings at rear are in poor condition



Fig. 8 Internal view of main building external walls - ingress of water has deteriorated wall/ceiling finishes and is in poor condition



Fig. 9 Internal view of rear building - ingress of water has deteriorated wall/ceiling finishes and is in poor condition



Fig. 10 Internal view of print works building - ingress of water has deteriorated finishes; the ceiling and timber floor has partially collapsed and is in poor condition

Condition Appraisal:

2022- A visual inspection of was carried out on 18th November 2022 and photographs were taken as seen in figures 1 to 10 below. The owner gave permission for the photographs to be taken.

The building at the time of the inspection was unoccupied and is up for sale. The current owner has owned the building for the past 20 years and until recent years it was used as a shop. The owner claims the main pitched roof structure was repaired and retiled 20 years ago including re-rendering of the main gable end wall and was totally repainted (Figure 1). Generally, the building has not been maintained and is in very poor condition as a result of disuse and neglect. The timber shop front is very deteriorated, lead flashing appears defective and the timber plinth has almost rotted away (Figure 2). Timber window frames are very deteriorated and in poor condition (Figure 3). The slate roof and rainwater goods appear to be in fair condition but requires closer inspection. The brick chimney stack has established vegetation growth and requires repointing. Structural cracking is evident to the rear elevation wall and further investigation are required (Figure 6). Internally, the main building, attached rear building and print works buildings have suffered from the ingress of water and structure and finishes are in poor condition and partial collapse of the print works roof and timber floor is evident (Figures 8, 9 and 10). The roof space was not inspected.

The detached curtilage listed garage was locked at the time of the inspection, render is missing from external walls, the lean too roof has partially collapsed and is in poor condition (Figure 5). The curtilage listed print works building and various out buildings appears to be in poor condition (Figure 7).

Recommendations/Actions: The main house, garage, printworks and outbuildings have not been maintained and are in a very poor condition as a result of disuse and neglect. Without urgent intervention, the building fabric will continue to decay causing deterioration and loss of the remaining historic fabric.

The following works should be carried out with immediate effect:

1. Council Conservation officer should be made aware of the deteriorated condition of the building and necessary urgent actions taken to prevent further loss of the historic fabric.
2. A plan of action should be agreed with the owner to repair and conserve the building.
3. The building should remain of the BaR register.

Remain on Buildings at Risk Register? YES

30 . Buildings to be retained on the list

30 Buildings to be retained on the list

Following the updated surveys, the following buildings are to be retained on the Buildings at Risk register and will be surveyed again during the next review. Please contact the Local Plans Team at Forest of Dean Council (01594 810000 or localplans@fdean.gov.uk) if you would like to discuss any matters about these buildings, whether that may be further deterioration or works which have been carried out since this review.

The buildings remaining on the Buildings at Risk Register are as follows:

1. Barns at Naas Court, Lydney
2. Former Pumphouse, Lightmoor Works, Ruspidge
3. Gunns Mill Blast Furnace, Mitcheldean
4. Barn, Cider Mill and Pigsty (Kilcot Inn), Kilcot
5. Former Blowing House, Furnace Lane, Oxenhall
6. Former Charcoal Store, Furnace Lane, Oxenhall
7. Granary and Barn at Grove Farm, Westbury-on-Severn
8. Railway Viaduct at Purton, Awre
9. Tithe Barn at Highleadon Court, Rudford
10. Spout Farm Cottages (North and Middle), Newland
11. Ty Anon (formally Barn at Elliot's Farm), Taynton
12. Former United Reform Church, Cinderford road, Blakeney
13. Former Lydney Baptist Chapel, Lydney
14. Yewtree Cottage, Flaxely, Westbury-on-Severn
15. Whitecliff Furnace, Coleford
16. St John's Church, Coleford
17. Mortuary Building at Clearwell Church, Clearwell
18. Sedbury Park House, Sedbury
19. Lydney Docks and Swing Bridge over Naas Harbour, Lydney
20. Crump Farm, Lydney
21. The Victoria Hotel, Newnham
22. Yorkley Court Farm, Yorkley
23. All Saviours Church, Redbrook
24. 10-14 Newland Street, Coleford

31 . Success Stories

31 Success Stories

There have been several success stories resulting from this updated review, and we are very pleased to record that the following buildings can now be **REMOVED** from the Buildings at Risk Register. This is such a fantastic achievement for the people responsible for the building and all the hard work which has been put in. The preservation of these wonderful buildings should be celebrated. Thank you.

Congratulations to the owners/persons responsible for the following buildings:

1. Gaulet Farm, Blaisdon
2. Footbridge at St. Mary's Halt, Lydney
3. Cinderford Methodist Church, Belle Vue, Cinderford

32 . Next Review

32 Next Review

Letters have been sent to each of the owners/people responsible for each site which explain the outcome of these surveys. Where it has been agreed that the building will remain on the At Risk Register, advice, funding sources and recommendations have been given in order to encourage the repair of the building, bearing in mind that it is a legal responsibility to do so. A further review will take place in the next couple of years.

Please contact the Local Plans Team at Forest of Dean Council (01594 810000 or localplans@fdean.gov.uk) if you would like to discuss any matter resulting from this review, or if you would like to suggest any building to be surveyed during the next review.

The following buildings are likely to feature in the next review (unless work is carried out in the meantime to repair/preserve the buildings):

- Soilwell Manor, Allaston Road, Lydney
- Prince of Wales, Gloucester Road, Corse
- Bullo Pill Dock and Lock Walls

